

# **FRANKSTON CITY COUNCIL**

## **COUNCIL MEETING SUPPORTING INFORMATION**

**2025/CM17  
17 NOVEMBER 2025**

*Frankston City*

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## **Consideration of City Planning Reports**

### **REQUEST AUTHORISATION FROM THE MINISTER FOR PLANNING FOR COUNCIL TO PREPARE AND EXHIBIT PLANNING SCHEME AMENDMENT C167FRAN (CORRECTIONS AMENDMENT)**

#### **Planning Scheme Amendment C167fran Amendment Documents**

**Meeting Date: 17 November 2025**

**Attachment: A**

*Planning and Environment Act 1987*

## **Frankston Planning Scheme**

### **Amendment C167fran**

### **Explanatory Report**

#### **Overview**

Amendment C167fran proposes to correct technical and mapping errors in the Frankston Planning Scheme. The amendment updates zoning and overlay maps so that the correct planning controls apply to each parcel of land based on its current use and conditions. It also makes minor updates to schedules to improve the accuracy of decision guidelines and permit requirements.

The amendment corrects spelling mistakes and clarifies language to ensure consistency and readability across the scheme. These changes improve the accuracy and usability of the Frankston Planning Scheme without altering policy intent.

#### **Where you may inspect this amendment**

The amendment can be inspected free of charge at the Frankston City Council website at <https://www.frankston.vic.gov.au/Planning-and-Building/Strategic-and-Heritage-Planning/Planning-Scheme-amendments>

And/or

The amendment is available for public inspection, free of charge, during office hours at the following places:

- Frankston Civic Centre, 30 Davey Street, Frankston

The amendment can also be inspected free of charge at the Department of Transport and Planning website at <http://www.planning.vic.gov.au/public-inspection> or by contacting the office on 1800 789 386 to arrange a time to view the amendment documentation.

#### **Submissions**

Any person may make a submission to the planning authority about the amendment. Submissions about the amendment must be received by **5pm 2 March 2026**.

A submission must be sent to:

Frankston City Council

- **Email:** strategicplanning@frankston.vic.gov.au with “*Submission to Planning Scheme Amendment C167frankston*” in the subject line.

Or

- **Post:**  
Strategic Planning – Submission to Planning Scheme Amendment C167frankston  
Frankston City Council  
PO Box 499  
Frankston VIC 3199

### **Panel hearing dates**

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- Directions hearing: Week commencing 25 May 2026
- Panel hearing: Week commencing 22 June 2026

### **Details of the amendment**

#### **Who is the planning authority?**

This amendment has been prepared by the Frankston City Council, who is the planning authority for this amendment.

The amendment has been made at the request of Frankston City Council.

#### **Land affected by the amendment**

The amendment applies to multiple properties across the municipality. The specific land affected (including current and proposed zones and overlays) is detailed in the reference table at **Attachment 1** of this Explanatory Report.

#### **What the amendment does**

The amendment corrects mapping and text errors in the Frankston Planning Scheme to ensure zones, overlays, and schedules accurately reflect existing land use and conditions. It updates schedules to improve clarity and corrects minor spelling and formatting issues. These changes improve the accuracy and consistency of the planning scheme without changing its policy intent. Specifically, the amendment:

## 1. Planning Policy Framework

Clause	Change to Planning Scheme	Justification
15.01-5L (Preferred Neighbourhood Character)	In the Frankston table, add Precinct 11 to the ' <i>Preserve the openness of the streetscape</i> ' guideline.	The omission of Precinct 11 is an administrative error.
15.01-5L (Preferred Neighbourhood Character)	In the Frankston table, add Precinct 11 to the ' <i>Preserve the rhythm of existing dwelling spacing</i> ' guideline.	The omission of Precinct 11 is an administrative error.
15.01-5L (Preferred Neighbourhood Character)	In the Frankston South table, delete ' <i>Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.</i> '	The existing guideline covers this requirement.
15.01-5L (Preferred Neighbourhood Character)	In the Frankston South table, merge Precincts 2 & 6 with Precincts 3, 7, 10, 11, 12, 13 & 14 for this guideline	The requirement is covered consistently across all precincts.

## 2. Zoning

Properties	Clause	Change to Planning Scheme	Justification
Frankston Foreshore Reserve/570N Nepean Highway, Frankston South	Schedule 3 to Clause 37.01 Special Use Zone (SUZ3)	Rezone from SUZ3 to PCRZ to align with the adjacent foreshore zone.	The SUZ3 has been deleted from the Frankston Planning Scheme.
13N Jeremy Way, Frankston South	Clause 36.01 Public Use Zone 1 (PUZ1)	Rezone from PUZ1 to PCRZ to align with adjacent zones.	The parcels comprise part of the Frankston Nature and Conservation Reserve, some of which have been proposed to be partially rezoned to PCRZ in Amendment C165fran.
495 Cranbourne – Frankston Road, Langwarrin	Schedule 4 to Clause 35.06 Rural Conservation Zone (RCZ4)	Rezone from RCZ4 to PCRZ.	Land is now in public ownership and must reflect an appropriate public zone.
90 Bardia Avenue, Seaford	Clause 36.02 Public Park and Recreation Zone (PPRZ)	Rezone from IN1Z to PPRZ to provide a single, consistent zone that reflects Council ownership of the Frankston Basketball and Gymnastic Stadium.	Land is in two zones and must be in the PPRZ.
39 Wells Road,	Clause 33.01 Industrial 1 Zone	Rezone from PPRZ to IN1Z to provide a	Land is in two different zones and must be in

Seaford	(IN1Z)	single, consistent zone.	the IN1Z.
620 McClelland Drive, Langwarrin	Clause 36.01 Public Use Zone 1 (PUZ1)	Rezone from PUZ1 to RCZ3 to reflect the private ownership and align with Council's <i>Green Wedge Management Plan</i> strategies and adjacent zoning.	Formerly owned by Telstra, this site has been sold to a private landowner.
	Schedule 1 to Clause 32.08 General Residential Zone (GRZ1)	Replace GRZ2 with GRZ1 in ' <i>shown on planning scheme map as...</i> ' as this zone does not exist.	GRZ2 is listed at Schedule 1 to Clause 32.08; but this zone does not exist.
	Schedule 1 to Clause 37.08 Activity Centre Zone (ACZ1)	Correct spelling to ' <i>Norfolk</i> ' in Table 13 – Solar Access.	Table 13 – Solar access incorrectly spells ' <i>Norfolk</i> ' as ' <i>Norfold</i> '.
All Business 1 Zone, Business 2 Zone and Business 5 Zone as per below Table 1	Clause 34.01 Commercial 1 Zone (C1Z)	Delete all B1Z, B2Z and B5Z maps and Planning Scheme references and replace with C1Z for consistency with Victorian State planning guidance.	Maps and Planning Scheme references use outdated Business zones.
All Business 4 Zone as per below Table 1	34.02 Commercial 2 Zone (C2Z)	Delete all B4Z maps and planning scheme references and replace with C2Z for consistency with Victorian State planning guidance.	Maps and Planning Scheme references use outdated Business zones.

Table 1: Mapping Updates – Business Zones to Commercial Zones

Current	New Zone	Address
B1Z	C1Z	110 - 116 Ashleigh Avenue, Frankston
B1Z	C1Z	136 - 158 Austin Road, Seaford
B1Z	C1Z	317 - 335S Ballarto Road, Carrum Downs
B1Z	C1Z	41 - 53H Beach Street, Frankston
B1Z	C1Z	129 - 247A Beach Street, Frankston
B1Z	C1Z	1 Broughton Street, Seaford
B1Z	C1Z	330 - 338 Cranbourne Road, Frankston
B1Z	C1Z	115 - 121 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	230 - 246 Cranbourne-Frankston Road, Langwarrin

B1Z	C1Z	301 - 311 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	385 - 387 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	2 - 4 Culcairn Drive, Frankston South
B1Z	C1Z	6 Culcairn Drive, Frankston South
B1Z	C1Z	121-125 Dandenong Road East, Frankston
B1Z	C1Z	1-9R Dandenong Road East, Frankston
B1Z	C1Z	43 - 57A Excelsior Drive, Frankston North
B1Z	C1Z	2 - 24 Fairway Street, Frankston
B1Z	C1Z	105C Fleetwood Crescent, Frankston South
B1Z	C1Z	13 Fleetwood Lane, Frankston South
B1Z	C1Z	30 - 57 Foot Street, Frankston
B1Z	C1Z	117 Franciscan Avenue, Frankston
B1Z	C1Z	1095 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	366 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	493 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	136 Frankston - Flinders Road, Frankston South
B1Z	C1Z	145 - 147 Frankston - Flinders Road, Frankston South
B1Z	C1Z	192 Frankston - Flinders Road, Frankston South
B1Z	C1Z	1 - 7 Golf Links Road, Frankston
B1Z	C1Z	100 Hall Road, Carrum Downs
B1Z	C1Z	90 Hall Road, Carrum Downs
B1Z	C1Z	300 - 300E Heatherhill Road, Frankston
B1Z	C1Z	44 - 54 Heatherhill Road, Frankston
B1Z	C1Z	47 - 61 Kareela Road, Frankston
B1Z	C1Z	40 - 58 Mahogany Avenue, Frankston North
B1Z	C1Z	6 - 14B McCulloch Avenue, Seaford
B1Z	C1Z	14 - 15 Nepean Highway, Seaford
B1Z	C1Z	31 - 34 Nepean Highway, Seaford
B1Z	C1Z	110 - 132 Nepean Highway, Seaford
B1Z	C1Z	164 - 165 Nepean Highway, Seaford
B1Z	C1Z	166 - 175 Nepean Highway, Seaford
B1Z	C1Z	42 - 60 Norman Avenue, Frankston South
B1Z	C1Z	176 North Road, Langwarrin
B1Z	C1Z	2/2 Omaroo Lane, Frankston
B1Z	C1Z	2/3 Overport Road, Frankston
B1Z	C1Z	1 Petrie Street, Frankston
B1Z	C1Z	103 - 115 Railway Parade, Seaford

<b>B1Z</b>	C1Z	274 - 290 Seaford Road, Seaford
<b>B1Z</b>	C1Z	19 Shaxton Circle, Frankston
<b>B1Z</b>	C1Z	2 - 34 Skye Road, Frankston
<b>B1Z</b>	C1Z	2A - 20 Station Street, Seaford
<b>B1Z</b>	C1Z	1 - 6 The Mall, Frankston
<b>B1Z</b>	C1Z	143 Warrandyte Road, Langwarrin
<b>B2Z</b>	C1Z	1 Cadles Road, Carrum Downs
<b>B2Z</b>	C1Z	15 Cadles Road, Carrum Downs
<b>B2Z</b>	C1Z	19a Cadles Road, Carrum Downs
<b>B2Z</b>	C1Z	25 Cadles Road, Carrum Downs
<b>B2Z</b>	C1Z	9 Cadles Road, Carrum Downs
<b>B2Z</b>	C1Z	113 - 129 Hall Road, Carrum Downs
<b>B2Z</b>	C1Z	71 - 71B Hall Road, Carrum Downs
<b>B2Z</b>	C1Z	2 - 22 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	80 William Road, Carrum Downs
<b>B4Z</b>	C2Z	111 Cranbourne Road, Frankston
<b>B4Z</b>	C2Z	80 - 94 Cranbourne Road, Frankston
<b>B4Z</b>	C2Z	34 - 44 Dandenong Road West, Frankston
<b>B4Z</b>	C2Z	60 - 76 Dandenong Road West, Frankston
<b>B4Z</b>	C2Z	17 - 19 Fletcher Road, Frankston
<b>B4Z</b>	C2Z	574 - 590 Frankston - Dandenong Road, Carrum Downs
<b>B4Z</b>	C2Z	12 - 24 Lathams Road, Carrum Downs
<b>B4Z</b>	C2Z	6S - 8S Levida Drive, Carrum Downs
<b>B4Z</b>	C2Z	10 - 40S McMahons Road, Frankston
<b>B4Z</b>	C2Z	24S - 30S Yazaki Way, Carrum Downs
<b>B5Z</b>	C1Z	7 Broughton Street, Seaford
<b>B5Z</b>	C1Z	1 - 9 Chevalier Place, Frankston
<b>B5Z</b>	C1Z	328 Cranbourne Road, Frankston
<b>B5Z</b>	C1Z	5 - 5S Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	190 - 228 Karingal Drive, Frankston
<b>B5Z</b>	C1Z	30 Liardet Crescent, Frankston
<b>B5Z</b>	C1Z	133 - 134 Nepean Highway, Seaford
<b>B5Z</b>	C1Z	5 - 26 Union Road, Langwarrin

### 3. Overlays

Properties	Clause	Change to Planning Scheme	Justification
All properties as per below Table 2	Schedule 1 to Clause 43.04 Development Plan Overlay (DPO1)	Delete DPO1 from the listed properties, as it is no longer required.	DPO1 applies to areas that have now been developed.
All properties below as per Table 3	Schedule to Clause 45.12 Specific Controls Overlay (SCO2)	Delete SCO2 from the listed addresses, as it is no longer required.	SCO2 applies to areas that have now been developed.
495 Cranbourne – Frankston Road, Langwarrin	Schedule 7 to Clause 43.04 Development Plan Overlay (DPO7)	Delete DPO7 from the site to reflect current public ownership.	Land is now in public ownership (DEECA).
	Schedule 5 to Clause 42.03 Significant Landscape Overlay (SLO5)	Correct spelling to 'Laurence'	Incorrect spelling of 'Brotherhood of St Lawrence'.
	Schedule 6 to Clause 42.03 Significant Landscape Overlay (SLO6)	Correct spelling errors: 'metres' to 'metres' 'wheren' to 'where' 'definied' to 'defined'	Multiple spelling mistakes under 'Buildings and Works'.
	Schedule 4 to Clause 43.02 Design and Development Overlay (DDO4)	Add the word 'for' at the end of the sentence 'A permit is not required to construct a building or carry out works for.'	Missing word in sentence: 'A permit is not required to construct a building or carry out works'.
	Schedule 8 to Clause 43.02 Design and Development Overlay (DDO8)	Amend sentence and delete 'to the satisfaction of the Responsible Authority' 'Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance'.	Unnecessary phrase 'to the satisfaction of the Responsible Authority' in 2.0 Buildings and Works requirement.

Table 2: Properties proposed for DPO deletion

Number	Address
1	1 - 23 April Grove, Carrum Downs



2	1 - 58 Bronzewing Drive, Carrum Downs
3	1 - 54 Hillview Drive, Carrum Downs
4	1 - 52 Pagett Road, Carrum Downs
5	1 - 30 Pippa Way, Carrum Downs
6	1 - 74 Shoreline Crescent, Carrum Downs
7	1 - 9 Spinebill Lane, Carrum Downs
8	1 - 67 Surfers Crescent, Carrum Downs
9	40 - 64 Trafford Road, Carrum Downs
10	1 - 16 Wallagoot Walk, Carrum Downs
11	1 - 16 Wineglass Walk, Carrum Downs

Table 3: Properties proposed for SCO2 deletion

Number	Current Address
1	34 Mountain Avenue, Frankston South
2	4 Kristen Close, Frankston South
3	4C Kristen Close, Frankston South
4	4D Kristen Close, Frankston South
5	4E Kristen Close, Frankston South
6	4F Kristen Close, Frankston South

#### 4. Particular Provisions

Properties	Clause	Change to Planning Scheme	Justification
5, 6 and 7 Clyde Court, Frankston South	Clause 51.01 Specific Sites and Exclusions	Delete 5, 6 and 7 Clyde Court, Frankston South from 1.0 Specific sites and exclusions as the control is no longer required because subdivision has been registered.	Subdivision has been registered.

## Strategic assessment of the amendment

### Why is the amendment required?

- **Correction of Policy and Text Errors**

The amendment is required to correct minor policy and wording errors within Clause

15.01-5L (Preferred Neighbourhood Character) of the Frankston Planning Scheme. These errors include omitted precinct references, duplicated guidelines, and redundant wording. Correcting these issues ensures the clause accurately reflects Council's adopted neighbourhood character policy and provides clear and consistent guidance for assessing development proposals.

- **Ensuring Consistency and Clarity**

The amendment improves the usability and internal consistency of the planning scheme by ensuring that zoning, overlays, and schedules accurately correspond to existing land use and site conditions. Updating and clarifying language in schedules and decision guidelines reduces ambiguity in interpretation and assists both applicants and decision-makers.

- **Good Planning and Administrative Efficiency**

The changes are administrative in nature and do not alter the strategic intent or introduce new policy controls. They ensure that the Frankston Planning Scheme operates efficiently, reflects adopted strategic policy, and delivers sound and transparent planning outcomes. By correcting errors and improving accuracy, the amendment supports good planning practice and provides a net community benefit through improved certainty and clarity in decision-making.

### **How does the amendment implement the objectives of planning in Victoria?**

Does the amendment implement the objectives of planning in Victoria (sections 4(1) and 12(1)(a) of the Act)?

- a) To provide for the fair, orderly, economic and sustainable use, and development of land.*

The amendment supports this objective by correcting mapping and text errors to ensure that appropriate zones and overlays apply to land in accordance with its current use, ownership, and site conditions. This promotes a transparent and equitable planning framework that supports orderly development outcomes.

- c) To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*

By maintaining accurate and up-to-date planning controls and improving the clarity of policy language, the amendment supports the effective and consistent administration of land use and development. This helps deliver sustainable, safe, and well-designed environments for the community.

- e) to protect public utilities and other assets and enable the orderly provision and co-ordination of public utilities and other facilities for the benefit of the community.*

The amendment reinforces this objective by correcting zoning anomalies affecting Crown land, applying appropriate public use and open space zones to protect and recognise the function of these sites. This ensures public land, and assets are appropriately identified and managed for community benefit.

### **How does the amendment address any environmental, social and economic effects?**

The amendment is administrative in nature and primarily corrects mapping, zoning, overlay, and text errors within the Frankston Planning Scheme. It does not introduce new development opportunities or change the strategic intent of the scheme. The effects are therefore minimal and largely positive in terms of clarity, consistency, and efficiency

- **Environmental**

The amendment has no adverse environmental impacts. It does not change land use, affect biodiversity, impact waterways, or alter ecological systems. By accurately identifying land for public use or conservation, the amendment reinforces protection of existing public assets and open space.

- **Social**

The amendment supports a net community benefit by improving the clarity and usability of the planning scheme, making it easier for residents, developers, and decision-makers to understand and apply. Clearer guidelines and corrected precinct references reduce potential conflicts in planning decisions and support orderly development that aligns with local neighbourhood character.

- **Economic**

The amendment has no negative economic impacts. By correcting errors in zones, overlays, and schedules, it reduces administrative inefficiencies and uncertainty for applicants and Council. This facilitates consistent decision-making and reduces the risk of unnecessary delays, providing a minor but positive benefit to local economic activity.

**Does the amendment address climate change?**

The amendment is administrative in nature and does not change land use, urban density, or transport outcomes. A dedicated Climate Change Consideration Report is not required, and the amendment is not required to address Ministerial direction 22-Climate Change Consideration under section 12A of the Act.

**Does the amendment address relevant bushfire risk?**

The amendment meets bushfire policy in Clause 13.02 of the Planning Scheme because it does not change land use or development controls in a manner that increases risk to life, property, or community infrastructure.

**Does the amendment comply with the requirements of any other Minister's Direction applicable to the amendment?**

The amendment complies with relevant Ministerial Directions, including:

- **Ministerial direction 11 – Strategic assessment of amendments:**

The amendment has been strategically assessed and aligns with the Planning Policy Framework, ensuring clear net community benefit.

- **Ministerial direction 15 - The planning scheme amendment process**

The proposed amendment has been prepared in accordance with the requirements of this direction, including exhibition and notice requirements.

**How does the amendment support or implement the Planning Policy Framework and any adopted State policy?**

The amendment supports the PPF by ensuring that Clause 15.01-5L (Preferred Neighbourhood Character) and other planning provisions accurately reflect Council policy and provide clear guidance for development. This maintains alignment with the objectives of Clauses 11 (Settlement) and 16 (Housing) in providing orderly, well-planned development consistent with adopted State and local policies.

**Is the amendment consistent with the delivery of the relevant housing target set out in the Planning Policy Framework?**

The amendment does not alter land available for housing and does not affect housing targets. Its purpose is administrative correction and improved clarity, and it has no impact on the delivery of housing in the municipality.

**How does the amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?**

The amendment implements the MSS and LPPF by:

- Correcting precinct references and duplicated guidelines in Clause 15.01-5L to ensure neighbourhood character policy is clear and enforceable.
- Aligning schedules and mapping with existing land use and ownership, which ensures consistency with the strategic directions in the MSS.

No other objectives or strategies of the MSS are affected.

**Does the amendment make proper use of the Victoria Planning Provisions?**

Yes. The amendment uses the appropriate VPP tools (zones, overlays, and schedules) to correct administrative errors. No new tools or controls are introduced.

**How does the amendment address the views of any relevant agency?**

The Department of Transport and Planning (DTP – Planning) have been consulted with during the preparation of this amendment.

Preliminary consultation with relevant agencies was undertaken (Department of Energy, Environment and Climate Action (DEECA) and Parks Victoria) where mapping of Crown land or public land was corrected. Any feedback received has been incorporated into the amendment.

**Does the amendment address relevant requirements of the Transport Integration Act 2010?**

The amendment will not significantly affect the transport system. It does not create new land use or development opportunities that would change transport demand, patterns, or infrastructure requirements.

**How does the amendment have regard to the principles set out in the *Yarra River Protection (Wilip-gin Birrarung murrn) Act 2017* in relation to Yarra River land and other land, the use or development**

**of which may affect Yarra River land?**

The amendment does not affect Yarra River land or land that could impact the Yarra River.

**Resource and administrative costs**

**What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment is expected to have minimal resource implications for Council. It does not create additional planning permit applications or significantly increase staff workload.

The administrative benefit of clearer planning controls is expected to offset minor implementation costs.

## Attachment 1 – Mapping reference table

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
All B1Z, B2Z and B5Z	All B1Z, B2Z and B5Z	Frankston C167frn 001znMaps1_2_4_5_6_7_8_9 Exhibition	All properties in these zones	Rezone to C1Z	N/A	N/A
All B4Z areas	All B4Z areas	Frankston C167frn 002znMaps2_4 Exhibition	All properties in these zones	Rezone to C2Z	N/A	N/A
Carrum Downs	1 - 23 April Grove, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 23 April Grove, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 58 Bronzewing Drive, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 58 Bronzewing Drive, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 54 Hillview Drive, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 54 Hillview Drive, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 52 Pagett Road, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 52 Pagett Road, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 30 Pippa Way, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 30 Pippa Way, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 74 Shoreline Crescent, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 74 Shoreline Crescent, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 9 Spinebill Lane, Carrum Downs	Frankston C167frn 009d-dpoMap2 Exhibition	1 - 9 Spinebill Lane, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 67 Surfers Crescent,	Frankston C167frn 009d-	1 - 67 Surfers Crescent,	N/A	Delete DPO1	N/A

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
	Carrum Downs	dpoMap2 Exhibition	Carrum Downs			
Carrum Downs	40 - 64 Trafford Road, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	40 - 64 Trafford Road, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 16 Wallagoot Walk, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 16 Wallagoot Walk, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 16 Wineglass Walk, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 16 Wineglass Walk, Carrum Downs	N/A	Delete DPO1	N/A
Frankston South	34 Mountain Avenue, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	34 Mountain Avenue, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4 Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4 Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4C Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4C Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4D Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4D Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4E Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4E Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4F Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4F Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	13N Jeremy Way, Frankston South	Frankston C167fran 006znMap7 Exhibition	13N Jeremy Way, Frankston South	Rezone to PCRZ	N/A	N/A
Frankston	Frankston Foreshore Reserve/570 N Nepean	Frankston C167fran 003znMap4_7 Exhibition	Frankston Foreshore Reserve/570 N Nepean	Rezone o PCRZ	N/A	Delete any reference to Frankston Safe Boat Harbour on all



Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
	Highway, Frankston		Highway, Frankston			Government mapping platforms.
Langwarrin	495 Cranbourne-Frankston Road, Langwarrin	Frankston C167fran 010d-dpoMap6 Exhibition	495 Cranbourne-Frankston Road, Langwarrin	Rezone to PUZ	Delete DPO7	N/A
Langwarrin	620 McClelland Drive, Langwarrin	Frankston C167fran 007znMap8 Exhibition	620 McClelland Drive, Langwarrin	Rezone to RCZ3	N/A	N/A
Seaford	39 Wells Road, Seaford	Frankston C167fran 003znMap4 Exhibition	39 Wells Road, Seaford	Partially rezone to IN1Z	N/A	N/A
Seaford	90 Bardia Avenue, Seaford	Frankston C167fran 003znMap4 Exhibition	90 Bardia Avenue, Seaford	Partially rezone to PPRZ	N/A	N/A

*Planning and Environment Act 1987*

## **Frankston Planning Scheme**

### **Amendment C167fran**

#### **Instruction sheet**

The planning authority for this amendment is the Frankston City Council

The Frankston Planning Scheme is amended as follows:

#### **Planning Scheme Maps**

The Planning Scheme Maps are amended by a total of 11 attached map sheets.

##### **Zoning Maps**

1. Amend Planning Scheme Map No 001 znMap1, 002 znMap2, 003 znMap4, 004 znMap5, 005 znMap6, 006 znMap7, 007 znMap8 and 008 znMap9 in the manner shown on the 8 attached maps marked 'Frankston Planning Scheme, Amendment C167fran'.

##### **Overlay Maps**

2. Amend Planning Scheme Map No 009 d-dpoMap2, 010 d-dpoMap6 and 011 d-scoMap7 in the manner shown on the 3 attached maps marked 'Frankston Planning Scheme, Amendment C167fran'.

#### **Planning Scheme Ordinance**

The Planning Scheme Ordinance is amended as follows:

3. In **Planning Policy Framework**- replace Clause 15.01 with a new Clause 15.01 in the form of the attached document.
4. In **Zones** – Clause 32.08, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
5. In **Zones** – Clause 37.08, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
6. In **Overlays** – Clause 42.03, replace Schedule 5 with a new Schedule 5 in the form of the attached document.
7. In **Overlays** – Clause 42.03, replace Schedule 6 with a new Schedule 6 in the form of the attached document.

8. In **Overlays** – Clause 43.02, replace Schedule 4 with a new Schedule 4 in the form of the attached document.
9. In **Overlays** – Clause 43.02, replace Schedule 8 with a new Schedule 8 in the form of the attached document.
10. In **Particular Provisions** – Clause 51.01 replace the Schedule with a new Schedule in the form of the attached document.

**End of document**

FRANKSTON PLANNING SCHEME

**15.01**  
31/07/2018  
VC148

**BUILT ENVIRONMENT**

## FRANKSTON PLANNING SCHEME

### 15.01-1S

02/09/2025  
VC283

### Urban design

#### Objective

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

#### Strategies

Require development to respond to its context in terms of character, cultural identity and heritage, natural features, surrounding landscape and climate.

Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.

Ensure the interface between the private and public realm protects and enhances personal safety.

Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.

Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.

Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.

Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.

Promote good urban design along and abutting transport corridors.

#### Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

FRANKSTON PLANNING SCHEME

**15.01-1R Urban design - Metropolitan Melbourne**

31/07/2018  
VC148

**Objective**

To create a distinctive and liveable city with quality design and amenity.

**Strategies**

Support the creation of well-designed places that are memorable, distinctive and liveable.

Integrate place making practices into road space management.

Strengthen Melbourne's network of boulevards.

Create new boulevards in urban-growth areas and selected existing road corridors across Melbourne.

Provide spaces and facilities that encourage and support the growth and development of Melbourne's cultural precincts and creative industries.

## FRANKSTON PLANNING SCHEME

### 15.01-1L-01 Signs

04/05/2022  
VC210

#### Objective

To encourage signs that make a positive contribution to both the day and night-time character of an area.

#### Strategies - General

Ensure that signs are designed and located to minimise the impact on the surrounding area.

Encourage the consolidation of signage along identified gateway locations.

Discourage the installation of illuminated signs in residential areas.

Discourage signs on buildings that interrupt views into and within a heritage place.

Encourage temporary match related / sporting event signage on sporting facilities and recreation reserves to be limited to match days instead of permanent signage.

Discourage signs on sporting facilities, non-urban areas, recreation reserves and open spaces that are visible from beyond the site.

Avoid advertising signs near exit and entry ramps to major road corridors.

#### Strategies - Commercial areas

Encourage signs to be located on the main building or canopy.

Encourage a co-ordinated and consistent approach in the design and location of signs.

Ensure signs are designed and located to minimise their impact on surrounding residential areas.

Support signs that are designed to integrate with new buildings.

Avoid signs that cover ground level display windows.

Discourage above veranda and upper level façade signs.

#### Strategies - EastLink and Peninsula Link

Encourage modest signage that is designed and built to a high quality and shows innovation and responsiveness in its relationship to the established EastLink and Peninsula Link form.

Discourage major promotional signs and sky signs where they have an adverse visual impact in the landscape and design of the EastLink and Peninsula Link freeway corridors.

Discourage signs that promote goods, services, an event or any other matter, not provided, undertaken or sold or for hire on the land or in the building on which the sign is sited.

#### Policy guidelines

Consider as relevant:

- Limiting signage to premises in a residential zone to a maximum of:
  - Two signs for premises fronting a Transport Zone 2 or Transport Zone 3.
  - One sign for premises fronting a local road.

#### Policy document

Consider as relevant:

*Outdoor Advertising Signage Design Guidelines* (Frankston City Council, 2014)

**FRANKSTON PLANNING SCHEME**

**15.01-1L-02 Urban design**

10/02/2022  
C141fran

**Strategies**

Support the retention of existing canopy trees.

Encourage the provision of sufficient areas to accommodate the planting of new canopy trees.

Encourage development to utilise rear laneways for vehicle access to prioritise frontages for pedestrians.

Ensure development reinstates redundant vehicle crossings with kerb and channel and or a footpath and nature strip.



## FRANKSTON PLANNING SCHEME

### 15.01-2S

01/01/2024  
VC250

### Building design

#### Objective

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

#### Strategies

Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Improve the energy performance of buildings through siting and design measures that encourage:

- Passive design responses that minimise the need for heating, cooling and lighting.
- On-site renewable energy generation and storage technology.
- Use of low embodied energy materials.

Restrict the provision of reticulated natural gas in new dwelling development.

Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.

Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.

Encourage water efficiency and the use of rainwater, stormwater and recycled water.

Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas.

Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.

Encourage development to retain existing vegetation.

Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

#### Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Waste Management and Recycling in Multi-unit Developments* (Sustainability Victoria, 2019)

## FRANKSTON PLANNING SCHEME

### 15.01-2L-01 Environmentally Sustainable Development

10/06/2022  
VC216

#### **Policy application**

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

#### **Objective**

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

#### **Strategies**

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable development that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.

#### **Energy performance**

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

#### **Integrated water management**

- Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.
- Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).
- Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

#### **Indoor environment quality**

- Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.
- Reduce indoor air pollutants by encouraging use of low-toxicity materials.
- Minimise noise levels and noise transfer within and between buildings and associated external areas.

#### **Transport**

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

## FRANKSTON PLANNING SCHEME

### **Waste management**

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reusable of building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

### **Urban ecology**

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

### **Policy guidelines**

#### **Residential**

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 2 - 9 dwellings.
- A building used for accommodation other than dwellings with a gross floor area between 50sqm and 1000sqm.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings.
- A building used for accommodation other than dwellings with a gross floor area of more than 1000sqm.

#### **Non-residential**

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

- A non-residential building with a gross floor area of 300sqm to 1000sqm.
- An extension to an existing non-residential building creating between 100sqm to 1000sqm of additional gross floor area (excluding outbuildings).

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- A non-residential building with a gross floor area of more than 1000sqm.
- An extension to an existing non-residential building creating more than 1000sqm of additional gross floor area (excluding outbuildings).

#### **Mixed use**

Applicable assessments for the residential and non-residential components of the development.

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning* (IMAP, 2015)

#### FRANKSTON PLANNING SCHEME

- *Built Environment Sustainability Scorecard 'BESS'* (Council Alliance for a Sustainable Built Environment 'CASBE')
- *Green Star* (Green Building Council of Australia)
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC'* (Melbourne Water)
- *Nationwide House Energy Rating Scheme 'NatHERS'* (Department of Climate Change and Energy Efficiency)
- *Stormwater Treatment Objective - Relative Measure 'STORM'* (Melbourne Water)
- *Urban Stormwater Best Practice Environmental Management Guidelines* (Victorian Stormwater Committee, 1999)
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide* (Sustainability Victoria, 2018).

#### **Commencement**

This policy does not apply to applications received by the responsible authority before the gazettal date if this clause.

#### **Expiry**

This policy will expire when it is superseded by a comparable provision of the Victoria Planning Provisions.

**FRANKSTON PLANNING SCHEME**

**15.01-2L-02 Efficiency and sustainability**

10/06/2022  
VC216

**Strategy**

Encourage energy efficient and passive design in development, including subdivisions, such as lot and building orientation, green roofs and walls, and solar and / or wind powered street lighting.

## FRANKSTON PLANNING SCHEME

### 15.01-3S

01/01/2024  
VC250

### Subdivision design

#### Objective

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

#### Strategies

In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

- Creating compact neighbourhoods that have walkable distances between activities.
- Developing activity centres in appropriate locations with a mix of uses and services and access to public transport.
- Creating neighbourhood centres that include services to meet day to day needs.
- Creating urban places with a strong sense of place that are functional, safe and attractive.
- Providing a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of different groups of people.
- Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
- Protecting and enhancing habitat for native flora and fauna, and providing opportunities for people to experience nature in urban areas.
- Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
- Reduce car dependency by allowing for:
  - Convenient and safe public transport.
  - Safe and attractive spaces and networks for walking and cycling.
  - Subdivision layouts that allow easy movement within and between neighbourhoods.
  - A convenient and safe road network.
- Minimising exposure of sensitive uses to air and noise pollution from the transport system.
- Being accessible to people with disabilities.
- Creating an urban structure that:
  - Responds to climate related hazards.
  - Incorporates integrated water management, including sustainable irrigation of open space.
  - Minimises peak demand on the electricity network.
  - Supports energy efficiency and solar energy generation through urban layout and lot orientation.
  - Supports waste minimisation and increased resource recovery.
- Providing utilities and services that support the uptake of renewable energy technologies, such as microgrids and energy storage systems, including batteries.
- Providing all-electric lots.

#### Policy documents

Consider as relevant:

**FRANKSTON PLANNING SCHEME**

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

FRANKSTON PLANNING SCHEME

**15.01-4S**

02/09/2025  
VC283

**Healthy neighbourhoods**

**Objective**

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

**Strategies**

Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:

- Connected, safe, pleasant and attractive walking and cycling networks that enable and promote walking and cycling as a part of daily life.
- Streets with direct, safe and convenient access to destinations.
- Conveniently located public spaces for active recreation and leisure.
- Accessibly located public transport stops.
- Amenities and protection to support physical activity in all weather conditions.

Create 20 minute neighbourhoods, that give people the ability to meet most of their everyday needs within a 20 minute walk, cycle or local public transport trip from their home.

**Policy documents**

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)



FRANKSTON PLANNING SCHEME

**15.01-5S**

09/10/2020  
VC169

**Neighbourhood character**

**Objective**

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

**Strategies**

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

- Pattern of local urban structure and subdivision.
- Underlying natural landscape character and significant vegetation.
- Neighbourhood character values and built form that reflect community identity.

## FRANKSTON PLANNING SCHEME

### 15.01-5L Frankston preferred neighbourhood character

30/05/2024  
6452frankston Proposed C167frankston

#### Policy application

This policy applies to development in a residential zone shown on Map 1 to this Clause.

#### Objective

Ensure that development is responsive to the preferred future character of the area.

#### Carrum Downs

CARRUM DOWNS			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 3 & 4	Strengthen the garden settings of the dwellings.	1 & 4	Providing low maintenance vegetation species.
		2 & 3	Providing substantial trees and shrubs as part of development.
		3	Retaining substantial, established trees as part of development.
1, 2 & 3	Preserve the rhythm of dwelling spacing in the area. Site buildings to create the appearance of space.	1 & 2	Providing setbacks on at least one side boundary.
		3	Providing setbacks on all boundaries.
1, 2, 3 & 4	Ensure buildings do not dominate the streetscape.	1, 2, 3 & 4	Articulating the form and elevations of buildings.
1, 2, 3 & 4	Preserve the openness of the streetscape.	2, 3 & 4	Providing no front fences, other than along heavily trafficked roads.
		1	Providing low or open style front fences, other than along heavily trafficked roads.

#### Frankston

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
2, 3, 5, 6, 7, 8 & 9	Strengthen the garden setting.	3, 5, 6, 7, 8 & 9	Providing low maintenance vegetation species as part of development.
		5, 7 & 8	Retaining substantial, established trees as part of development.
		9	Retaining substantial trees and providing for the planting of new trees particularly on larger sites as part of development.
		2	Providing as part of development: <ul style="list-style-type: none"> <li>Substantial trees and shrubs.</li> <li>Retaining existing substantial trees.</li> <li>Providing setbacks from all boundaries to accommodate trees and substantial shrubs.</li> </ul>

FRANKSTON PLANNING SCHEME

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1	Enhance the garden setting and backdrop of native trees.	1	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Retention of existing large trees.</li> <li>Setbacks from at least two boundaries to accommodate large trees.</li> </ul>
10	Minimise the loss of front garden space and the dominance of car storage facilities.	10	<ul style="list-style-type: none"> <li>Locating garages and carports behind the existing building line.</li> <li>Minimising hard paved areas in front gardens and using permeable surfaces and materials.</li> </ul>
4, 10 & 11 4 & 10	Strengthen the coastal character of the area.	4, 10 & 11	<ul style="list-style-type: none"> <li>Retaining existing coastal native and indigenous trees and understorey vegetation.</li> <li>Locating building footings outside root zones of all trees and shrubs.</li> <li>Providing appropriate coastal species as part of development landscaping.</li> </ul>
	Encourage the use of materials and finishes that complement coastal vegetation and setting.	4	The use of timber or other masonry sheeting or cladding materials on external surfaces.
		10	<ul style="list-style-type: none"> <li>The use of timber or other non-masonry sheeting or cladding materials or natural materials such as stone.</li> <li>The use of muted colours on external surfaces.</li> </ul>
2,9	Preserve the rhythm of existing dwelling spacing.	2	Providing setbacks on both side boundaries and the rear boundary.
		9	Providing setbacks on at least one side boundary.
2, 3, 4, 6, 7, 8, 10 & 11	Ensure buildings do not dominate the streetscape.	2,6,7,8,10 & 11	Articulating the form and elevation of buildings.
		2	Providing low pitched roof forms.
		3	<ul style="list-style-type: none"> <li>Providing for building heights that reflect the predominant existing building heights in the street and nearby properties.</li> <li>Recessing two storey elements from front facades.</li> </ul>
		4	Locating buildings away from ridge lines.
1, 7, 8, 9- 40, 10 & 11	Preserve the openness of the streetscape.	1,7,8 & 9	Providing no front fences, other than along heavily trafficked roads.
		5,6,11	Providing no front fences, or low, open style fences, other than along heavily trafficked roads.
		3 & 4	Providing low or open style front fences, other than along heavily trafficked roads.
		2	Providing no front fences facing the street and low open style fences in other areas, other than along heavily trafficked roads.

# FRANKSTON PLANNING SCHEME

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		10	Providing low, open style or brush front fences other than along heavily trafficked roads.
4 & 11	Support the sharing of views to the ocean or coast.	4 & 11	Siting buildings to respond to existing view corridors to the ocean and coast of nearby properties.
10	Support the sharing of views to the ocean, creek or coast.	10	<ul style="list-style-type: none"> <li>Siting buildings to respond to existing view corridors to the ocean, creek or coast of nearby properties.</li> <li>Providing setbacks from at least one side boundary (at ground level).</li> </ul>
4, 10, & 11	Encourage innovative architecture that respects the coastal setting.	4, 10 & 11	Incorporating building elements that contribute to a lightness of structure including balconies, verandas, open or light transparent balustrading and gable ends.
		4 & 10	Designing buildings to respond to the dominant characteristics of the area and the site.
4 & 11	Minimise site disturbance and impact of buildings on the landscape.	4 & 11	<ul style="list-style-type: none"> <li>Utilising the existing contours of the site or step down the site.</li> <li>Minimising the use of retaining walls and battering of slopes.</li> </ul>
1, 3, 5, 7 & 8, 8 & 11	Preserve the rhythm of existing dwelling spacing.	1,3,5,7 & 8	Providing setbacks on at least one side boundary.
		4,6 & 11	Providing setbacks on both side boundaries.
4	Protect the escarpment landform west of Cliff Road		Providing setbacks from the escarpment edge.
10	Enhance residential interface with the beach and creek environments.	10	<p>Where a site adjoins the beach or Kananook Creek:</p> <ul style="list-style-type: none"> <li>Locating building mass away from the beach or creek.</li> <li>Setting back the second storey component of any building from the ground floor beach or creek elevation, a distance of at least the ground floor building height.</li> <li>Minimising hard surfaces on sites adjoining the beach and creek environment.</li> <li>Encouraging low or no fences on creek boundary. Designing any high fences to be transparent or mesh.</li> </ul>

## Frankston North

FRANKSTON NORTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Preserve the rhythm of existing dwelling spacing.	1 & 2	Providing setbacks on both side boundaries.

FRANKSTON PLANNING SCHEME

FRANKSTON NORTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Preserve the openness of the streetscape.	1 & 2	Providing low or open style front fences, other than along heavily trafficked roads.
1 & 2	Ensure that buildings do not dominate the streetscape.	1 & 2	Encouraging low pitched roof forms.
1 & 2	Strengthen the garden settings.	1	<ul style="list-style-type: none"> <li>Providing low maintenance vegetation species and native trees as part of development.</li> <li>Retaining existing native trees.</li> </ul>
		2	Providing low maintenance species as part of development.

Frankston South

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 6, 8, 9, 10, 11, 12, 13, & 14	Minimise site disturbance and impact of the building on the landscape.	1, 2, 6, 8, 9, 10, 11, 12, 13 & 14	Utilizing the existing contours of the site or stepping down the site.
1 & 8	Strengthen the continuous flow of vegetation across the landscape.	1 & 8	Providing open front fencing or post and wire style fencing, other than along heavily trafficked roads.
2, 3, 4, 5, 6, 7, 9, 11, 12 & 14	Preserve the openness of the streetscape.	2, 3, 5, 7, 11, 12 & 14	Providing no front fences, other than along heavily trafficked roads.
		4, 6, & 9	Providing no front fences or low, open style front fences, other than along heavily trafficked roads.
6, 9, 10, 11, 13 & 14	Minimise the loss of front garden space and the dominance of car storage facilities.	6,9,10,11 &13	Locating garages and car ports behind the line of the front dwelling.
		6, 9 &11	Minimising paving in front yards, including the driveway.
		14	Locating garages and car ports behind the line of the dwelling, or beside the dwelling within the roofline.
2, 5 & 13	Encourage a garden setting.	2	Retaining substantial native trees and understorey and indigenous vegetation, and provide for the planting of new native trees as part of development.
		5	Providing substantial trees and shrubs as part of development.
		13	<ul style="list-style-type: none"> <li>Providing indigenous and native vegetation as part of development.</li> <li>Retaining substantial native trees and providing for the planting of new native trees and understorey.</li> </ul>

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
3	Strengthen the garden settings and the former pastoral landscape.	3	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Retention of substantial trees and any remnant vegetation.</li> <li>The planting of new native trees.</li> </ul>
4	Strengthen the garden settings of the dwellings and rural treed backdrop.	4	Providing as part of development: <ul style="list-style-type: none"> <li>The planting of substantial trees and shrubs.</li> <li>Retention of substantial trees and indigenous vegetation.</li> </ul>
6	Encourage the extension of the Sweetwater Creek vegetation qualities into the surrounding residential area and to strengthen the garden settings of the dwellings.	6	Providing as part of development: <ul style="list-style-type: none"> <li>Retention of substantial native trees.</li> <li>The planting of new native trees and understorey.</li> <li>Locating building footings outside of root zones.</li> <li>Providing setbacks from at least two boundaries to accommodate large trees.</li> <li>Providing setbacks on sites greater than 700 square metres, from all boundaries to accommodate large trees and other vegetation.</li> </ul>
9, 10, 11 & 14.	Strengthen the coastal bush settings and the relationship to the landscape of the Sweetwater Creek environs.	10 & 11	Providing as part of development: <ul style="list-style-type: none"> <li>Indigenous coastal species, particularly in areas visible from the street.</li> <li>Retention of substantial native trees.</li> <li>New native trees and understorey.</li> </ul>
		9 & 14	Providing as part of development: <ul style="list-style-type: none"> <li>Substantial trees and shrubs and indigenous vegetation in areas visible from the street.</li> <li>Setbacks from at least two boundaries sufficient distance to accommodate substantial vegetation.</li> <li>Retention of substantial trees.</li> <li>The planting of new native trees and understorey.</li> <li>Locating building footings outside of root zones.</li> </ul>
12	Strengthen the coastal character of the area by planting of appropriate coastal species.	12	Providing as part of development: <ul style="list-style-type: none"> <li>Retention of existing coastal native and indigenous trees and understorey vegetation.</li> </ul>

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			<ul style="list-style-type: none"> <li>The planting of appropriate coastal species.</li> <li>Locating building footings outside of root zones.</li> </ul>
1	Strengthen the vegetation dominated landscape and the relationship to the vegetation qualities of the Sweetwater Creek environs.	1	Providing as part of development substantial native trees and shrubs including: <ul style="list-style-type: none"> <li>Retention of substantial, established native trees and understorey vegetation.</li> <li>The planting of new native trees.</li> <li>Space for the planting of substantial vegetation.</li> <li>Locating building footings outside of root zones for established and new trees.</li> </ul>
7 & 8	Strengthen the rural bush setting and the relationship to the landscape of the Sweetwater Creek environs.	7 & 8	Providing as part of development: <ul style="list-style-type: none"> <li>Native and indigenous coastal trees and understorey, particularly in areas visible from the street.</li> <li>Retention of substantial native trees and indigenous vegetation.</li> </ul>
		7	Providing setbacks from both side and rear boundaries to accommodate substantial trees as part of development.
		8	Siting and designing buildings to incorporate space for the planting of substantial vegetation. Locating building footings outside root zones.
1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14	Preserve the rhythm of existing dwelling spacing.	4 & 5	Providing setbacks on one side boundary.
		<del>2 &amp; 6</del>	<del>Providing setbacks on both side boundaries and the rear boundary.</del>
		2, 3, 6, 7, 10, 11, 12, 13 & 14	Providing setbacks on both side boundaries and the rear boundary.
		1 & 8	Providing setbacks on all boundaries.
		<del>6</del>	<del>Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.</del>
1, 6, 7, 8, 9, 10, 11, 13 & 14	Ensure adequate spaces are provided for the retention and planting of vegetation.	9	Providing setbacks on at least one side boundary and preferably all side and rear boundaries.
		6, 9, 10, 11 & 14	Minimising building site coverage.
		1, 7, 8 & 13	Minimising building site coverage and areas covered by impervious surfaces.

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
6, 7, 8, 9, 10, 11 & 14	Enhance the residential interface with the creek environment on sites adjacent to Sweetwater Creek.	6, 7, 8, 9, 10, 11 & 14	<p>Where a site adjoins Sweetwater Creek:</p> <ul style="list-style-type: none"> <li>Locating building mass away from the creek.</li> <li>Setting buildings at least 10 metres from the creek reserve boundary or from any slope of 10% or greater.</li> <li>Minimising hard surfaces on sites adjoining the creek.</li> <li>Providing no or low fences on creek boundary.</li> <li>Designing any high fences to be transparent or mesh.</li> </ul>
13	Enhance the residential interface with the coast and creek environments on adjoining sites.	13	<p>Where a site adjoins the coast, or Kackeraboite Creek:</p> <ul style="list-style-type: none"> <li>Locating building mass away from the coast or creek.</li> <li>Setting back the second storey component of any building from the ground floor coast or creek elevation a distance of at least the ground floor building height.</li> </ul>
7, 10, 11 & 12,	Ensure new buildings do not dominate the streetscape and the wider landscape setting.	7, 8, 10, 11 & 12	Articulating the form and elevation of buildings.
		12	Locating buildings away from ridgelines.
2, 3 & 14	Ensure buildings do not dominate the streetscape.	2, 3 & 14	Articulating the form and elevation of buildings.
12	Provide for reasonable sharing of views to the ocean or coast.	12	Siting buildings to respond to existing view corridors to the ocean or coast from nearby properties.
12 & 13	Encourage innovative architecture that respects the coastal settings.	12, 13	<p>Incorporating as part of development:</p> <ul style="list-style-type: none"> <li>Building elements and details that contribute to a lightness of structure including balconies, verandas, light transparent balustrading and gable ends.</li> <li>Timber or other non-masonry sheeting or cladding materials.</li> </ul>
		12	Incorporating as part of development subdued colours on external finishes.
		13	Incorporating as part of development rendering, baging or painted masonry surfaces.
13	Maintain the openness of the streetscape.	13	Providing open style front fences other than along highly trafficked roads.



FRANKSTON PLANNING SCHEME

Langwarrin

LANGWARRIN			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 3, 4 & 6	Strengthen the garden settings and encourage the retention and planting of indigenous vegetation.	1, 2, 3 & 4	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Retention of large, established trees.</li> <li>The planting of new native and indigenous trees, particularly on larger sites.</li> <li>Adequate space for tree planting.</li> </ul>
		6	Providing as part of development: <ul style="list-style-type: none"> <li>Substantial trees and shrubs.</li> <li>Retention of large, established trees and understorey.</li> <li>The planting of new native trees.</li> <li>Space for the planting of substantial vegetation.</li> <li>Locating building footings outside root zones.</li> </ul>
5	Strengthen the garden settings.	5	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Retention of large, established trees.</li> <li>The planting of new native trees, particularly on larger sites.</li> <li>Adequate space for tree planting.</li> </ul>
1, 2, 3, 4 & 5	Maintain the openness of the streetscape.	1, 2, 3, 4 & 5	Providing low open style front fences.
6	Preserve the existing rhythm of dwelling spacing.	6	Providing set backs from all boundaries to create a semi rural setting with space for generous landscaping.
1, 2, 4 & 6	Encourage building elements that respects the creekside or any wetland environment and do not dominate the landscape.	1, 2, 4 & 6	Where a site adjoins Boggy Creek or a wetland: <ul style="list-style-type: none"> <li>Locating building mass away from the creek or wetland.</li> <li>Setting back the second storey component of any building from the ground floor creek or wetland elevation a distance of at least the ground floor building height.</li> </ul>
2, 5 & 6	Minimise site disturbance and impact of buildings on the landscape.	2, 5 & 6	Utilizing the existing contours of the site or step down the site as part of development.
1, 2, 3, 4 & 5	Preserve the rhythm of existing dwelling spacing.	1, 2 & 3	Providing setbacks on at least one side boundary and preferably both.
		4 & 5	Providing setbacks on both side boundaries.
1, 2, 3, 4, 5 & 6	Ensure buildings do not dominate the streetscape.	1, 2, 3, 4 & 5	Articulating the form and elevation of buildings.

FRANKSTON PLANNING SCHEME

LANGWARRIN			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		6	Providing muted colours and tones on external finishes.
6	Enhance the continuous flow of vegetation across the landscape.	6	Providing no fencing or post and wire style fencing, other than along heavily trafficked roads.
3	Encourage building elements that respects the creekside or any wetland environment and do not dominate the landscape.	3	Where a site adjoins Boggy Creek, Little Boggy Creek or a wetland: <ul style="list-style-type: none"> <li>Locating building mass away from the creek or wetland.</li> <li>Setting back the second storey component of any building from the ground floor creek or wetland elevation a distance of at least the ground floor building height.</li> </ul>

Langwarrin South

LANGWARRIN SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1	Strengthen the native vegetation dominated streetscapes.	1	Providing as part of development: <ul style="list-style-type: none"> <li>Landscaping that includes substantial trees and vegetation.</li> <li>Retention of large, established trees and understorey.</li> <li>The planting of new native trees.</li> <li>Siting and designing buildings to incorporate space for the planting of substantial vegetation.</li> <li>Locating building footings outside of root zones.</li> </ul>
1	Minimise site disturbance and impact of the building on the landscape.	1	Utilizing existing contours of the site or step down the site.
1	Preserve the existing rhythm of dwelling spacing.	1	Providing set backs from all boundaries to create a semi rural setting with space for generous landscaping.
1	Ensure buildings do not dominate the streetscape and wider landscape setting.	1	Providing muted colours and tones on external finishes.
1	Enhance the continuous flow of vegetation across the landscape.	1	Providing no fencing or post and wire style fencing other than along heavily trafficked roads.
1	Encourage building elements that respects any wetland environment and do not dominate the landscape.	1	Where a site adjoins a wetland: <ul style="list-style-type: none"> <li>Locating building mass away from the wetland.</li> <li>Setting back the second storey component of any building from the ground floor wetland elevation a</li> </ul>

FRANKSTON PLANNING SCHEME

LANGWARRIN SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			distance of at least the ground floor building height.

Seaford

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
4, 5 & 7	Strengthen the coastal garden settings.	4, 5 & 7	<ul style="list-style-type: none"> <li>Retaining existing coastal native and indigenous trees and understorey.</li> <li>Locating footings outside root zones.</li> <li>Providing coastal vegetation species, including trees, with an emphasis on indigenous species as part of development.</li> </ul>
		4	The use of timber or other non-masonry sheeting or cladding materials in streets where weatherboard predominates.
4, 5 & 7	Encourage building elements that respects the creekside environment and do not dominate the landscape.	4	Where a site adjoins Kananook Creek: <ul style="list-style-type: none"> <li>Locating building mass away from the creek.</li> <li>Setting back the second storey component of any building from the ground floor creek elevation a distance of at least the ground floor building height.</li> </ul>
		7	Where a site adjoins Kananook Creek: <ul style="list-style-type: none"> <li>Locating building mass away from the creek.</li> <li>Setting back the second and third storey component of any building from the creek elevation a distance of at least the height of the floor below.</li> <li>Minimising hard surfaces on sites adjoining the creek environment.</li> <li>Providing no or low fences on creek boundary.</li> <li>Designing any high fences to be transparent or mesh.</li> <li>Retaining creekside vegetation.</li> <li>Providing for revegetation.</li> </ul>
		5	Where a site adjoins Kananook Creek or the Seaford Wetlands: <ul style="list-style-type: none"> <li>Locating building mass away from the creek or wetlands.</li> <li>Setting back the second storey component of any building from the ground floor creek or wetland elevation</li> </ul>

FRANKSTON PLANNING SCHEME

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			a distance of at least the ground floor building height.
1, 3, 6, 8 & 9	Strengthen the garden settings.	1	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Retention of existing native trees.</li> <li>The planting of indigenous trees and shrubs.</li> </ul>
		3 & 6	Providing low maintenance plants, with an emphasis on indigenous species as part of development.
		6	Retaining large, established native trees as part of development.
		8 & 9	Providing low maintenance vegetation species as part of development.
2	Strengthen the garden settings and backdrop of canopy trees.	2	Providing as part of development: <ul style="list-style-type: none"> <li>Low maintenance vegetation species.</li> <li>Areas for the planting of trees and other substantial vegetation.</li> <li>Retention of large, established trees.</li> <li>Setbacks from a side or rear boundary a sufficient distance to accommodate at least one large tree, and more trees on larger sites.</li> </ul>
1, 2, 3, 4, 7, 8 & 9,	Ensure buildings do not dominate the streetscape.	1 & 2	Providing low pitched roof forms.
		4	Providing skillion, flat, single pitch or low pitched roof forms.
		3, 4, 7, 8 & 9	Articulating the form and elevations of buildings.
5 & 6	Ensure that buildings do not dominate the streetscape and wider landscape setting.	5 & 6	For buildings adjoining the Wetlands minimising visual impact when viewed from the wetlands reserve through the use of massing, forms, muted colours and materials.
		5	Providing low pitched roof forms.
6	Encourage building elements that respect the wetland environment and do not dominate the landscape.		Where a site adjoins the Seaford Wetlands: <ul style="list-style-type: none"> <li>Locating building mass away from the wetlands.</li> <li>Setting back the second storey component of any building from the ground floor wetland elevation a distance of at least the ground floor building height.</li> </ul>
1, 2, 3, 4, 5, 6, 7, 8 & 9	Preserve the openness of the streetscape.	1, 3, 4, 5 & 6	Providing no or low, open style front fences, other than on heavily trafficked roads.
		2 & 9	Providing low or open style front fences other than on heavily trafficked roads.

FRANKSTON PLANNING SCHEME

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		7	Providing open style front fences, other than along heavily trafficked roads, or using vegetation as a screening device.
		8	Providing no front fences, other than on heavily trafficked roads.
5 & 7	Encourage innovative architecture that respects and compliments the coastal settings and vegetation.	5 & 7	Incorporating timber or other non-masonry sheeting or cladding materials.
		7	Providing as part of development: <ul style="list-style-type: none"> <li>Subdued colours on external finishes.</li> <li>Building elements and details that contribute to a lightness of structure including balconies, verandas, light transparent balustrading and gable ends.</li> </ul>
7	Minimise the impact of buildings over two storeys on the streetscape.	7	Recessing parts of buildings over two (2) storeys: <ul style="list-style-type: none"> <li>From the facade of lower levels.</li> <li>At least three (3) metres from the front facade.</li> </ul>
1, 2, 3, 4, 5, 6, 7, 8 & 9	Preserve the rhythm of existing dwelling spacing.	1, 3, 4, 5 & 6	Providing setbacks that allow for tree planting.
		8 & 9	Providing setbacks on at least one boundary.
		2	Providing setbacks on at least one side boundary and preferably both.
		7	Providing setbacks on both side boundaries.
7	Preserve sharing of views to the ocean, creek or coast.	7	Sitting buildings to respond to view corridors to the ocean, creek or coast from nearby properties and public areas.

Skye

SKYE			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Strengthen the garden settings.	1 & 2	Providing low maintenance vegetation species as part of development.
1 & 2	Preserve the rhythm of existing dwelling spacing.	1 & 2	Providing setbacks on at least one side boundary.
1 & 2	Ensure that buildings do not dominate the streetscape.	1 & 2	Articulating the form and elevations of buildings.
1 & 2	Preserve the openness of the streetscape.	1 & 2	Providing no front fences, other than on heavily trafficked roads.

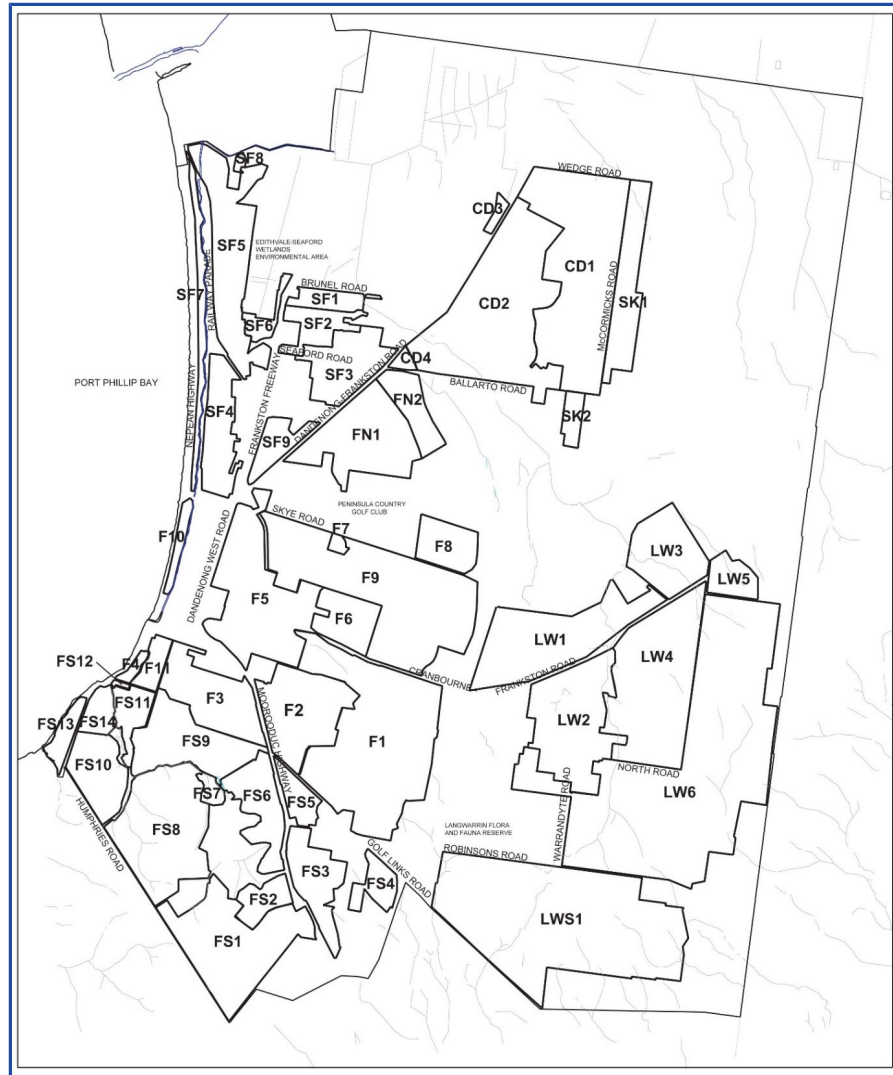
## FRANKSTON PLANNING SCHEME

### Policy documents

Consider as relevant:

- *Frankston City Neighbourhood Character Study, including all Neighbourhood Character Precinct brochures (Planisphere and John Curtis Pty Ltd, 2002)*

### Frankston City Council – Neighbourhood Character Precincts – Map 1



## FRANKSTON PLANNING SCHEME

### 15.01-6S

31/07/2018  
VC148

### Design for rural areas

#### Objective

To ensure development respects valued areas of rural character.

#### Strategies

Ensure that the siting, scale and appearance of development protects and enhances rural character.

Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.

Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

FRANKSTON PLANNING SCHEME

23/05/2019  
6433frankston  
Proposed C167frankston

SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Shown on the planning scheme map as R1Z and GRZ2GRZ1.



GENERAL RESIDENTIAL AREAS

1.0  
23/05/2019  
C133frankston

Neighbourhood character objectives

None specified.

2.0  
26/04/2024  
VC252

Construction or extension of a dwelling, small second dwelling or residential building - minimum garden area requirement

Is the construction or extension of a dwelling, small second dwelling or residential building exempt from the minimum garden area requirement?

No

3.0  
08/09/2025  
VC282

Requirements of Clause 54 and Clause 55

	Standard	Requirement
Minimum street setback	A2-1	None specified
	B2-1	None specified
Site coverage	A2-5	None specified
	B2-5	None specified
Private open space	A3-2	None specified
	B3-5	None specified
Front fence height	A2-7 and B2-8	None specified

4.0  
26/04/2024  
VC252

Maximum building height requirement for a dwelling, small second dwelling or residential building

None specified.

5.0  
26/04/2024  
VC252

Application requirements

None specified.

6.0  
26/04/2024  
VC252

Decision guidelines

None specified.

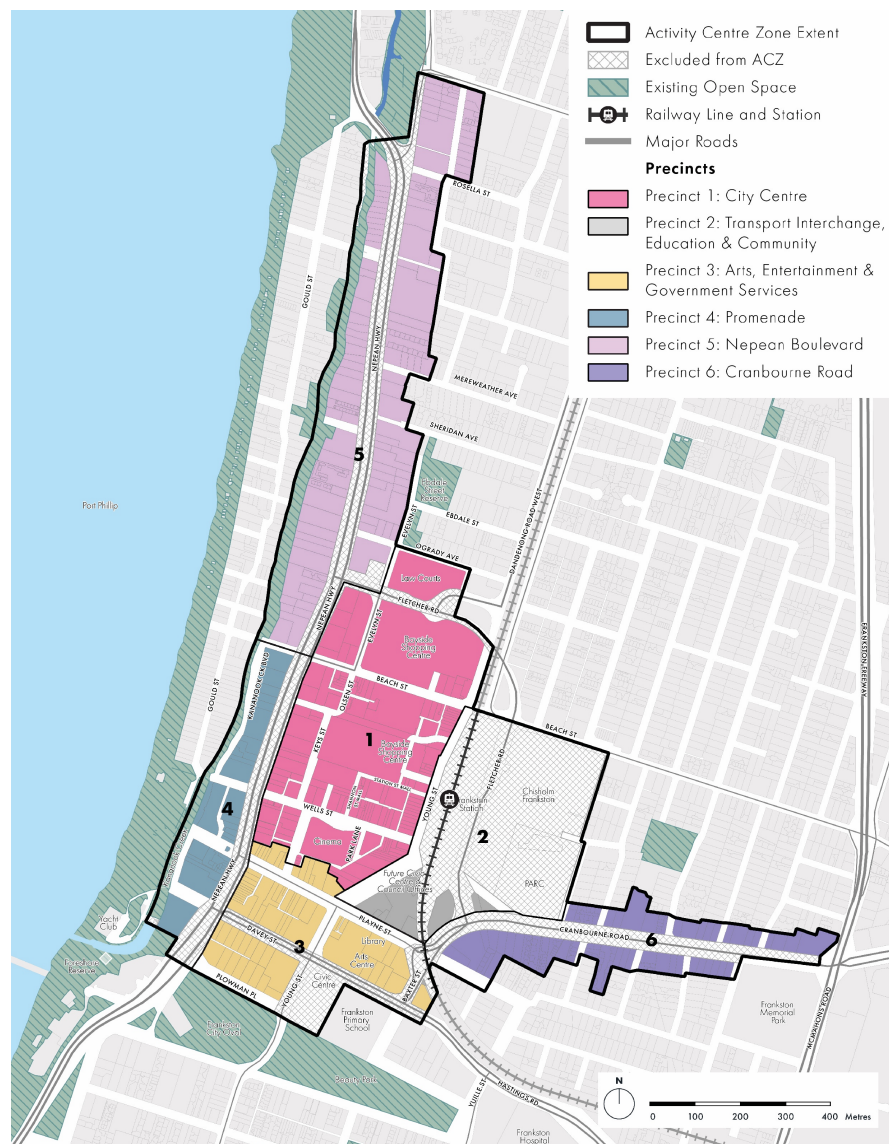


## FRANKSTON PLANNING SCHEME

Shown on the planning scheme map as **ACZ1**.

**FRANKSTON METROPOLITAN ACTIVITY CENTRE**

## Frankston Metropolitan Activity Centre Structure Plan



## FRANKSTON PLANNING SCHEME

### 2.0

11/04/2025  
C160fran

#### Land use and development objectives to be achieved

##### General

To develop the Frankston Metropolitan Activity Centre (MAC) as the retail, commercial, hospitality, civic, cultural, creative, community and entertainment destination for Melbourne's south-eastern metropolitan region.

To encourage a diverse range of housing choices that provide for on and off-site amenity at increased densities including affordable housing.

##### Development

To facilitate development at a scale that reflects the Frankston MAC's role as a Metropolitan Activity Centre while responding to the coastal setting and character of Frankston.

To encourage high quality built form that is consistent with the role of the Frankston MAC as a Metropolitan Activity Centre.

To encourage built form that contributes to a safe, engaging, active and attractive public realm and which provides innovative approaches to dealing with potential inundation.

To encourage built form that contributes to human scaled streets.

To ensure development respects sensitive amenity and environmental interfaces including residential interfaces, Kananook Creek and the Frankston Foreshore.

To increase tree canopy cover and landscaping within private and public land across the Frankston MAC.

To ensure that development anticipates the impacts of climate change and is resilient to the potential impacts of inundation.

##### Transport and access

To improve walkability and pedestrian amenity in the Frankston MAC.

To improve connectivity through the Frankston MAC.

To ensure that the location and design of car parks, loading bays, services areas and associated vehicle access promotes active street frontages, does not dominate public spaces and supports safe use and access.

##### Public realm

To maintain adequate sunlight access to the public realm and public open spaces at key times of the year.

### 3.0

11/04/2025  
C160fran

#### Table of uses

##### Section 1 - Permit not required

Use	Condition
Accommodation (other than Camping and caravan park, Corrective institution, and Host farm)	Any frontage at ground floor level must not exceed 2 metres in Precincts 1, 2, 3, 4 & 6.
Art and craft centre	
Art gallery	
Automated collection point	Must meet the requirements of Clause 52.13-3 and 52.13-5.

FRANKSTON PLANNING SCHEME

Use	Condition
	The gross floor area of all buildings must not exceed 50 square metres.
<b>Bank</b>	
<b>Cinema</b>	Must be located in Precinct 1.
<b>Cinema based entertainment facility</b>	Must be located in Precinct 1.
<b>Child care centre</b>	Must be located in Precincts 2 or 5.
<b>Education centre (other than Child care centre)</b>	Any frontage at ground floor level must not exceed 2 metres in Precinct 1 or 3.
<b>Exhibition centre (other than Art gallery)</b>	Must be located in Precinct 3.
<b>Food and drink premises</b>	Must not be located in Precinct 5.
<b>Function centre</b>	Any frontage at ground floor level must not exceed 2 metres in Precinct 1. Must not be located in Precincts 4 or 5.
<b>Home based business</b>	
<b>Informal outdoor recreation</b>	
<b>Library</b>	
<b>Office (other than Bank, Real estate agency and Travel agency)</b>	Any frontage at ground floor level must not exceed 2 metres in Precincts 1, 2, 3, 4 & 6.
<b>Place of worship</b>	The gross floor area of all buildings must not exceed 250 square metres. Any frontage at ground floor level must not exceed 2 metres in Precinct 1.
<b>Railway station</b>	
<b>Real estate agency</b>	
<b>Retail premises (other than Food and drink premises, Gambling premises, Market, Motor vehicle, boat or caravan sales, Primary produce sales, Shop and Timber yard)</b>	Must be located in Precinct 1 or 6.
<b>Restricted retail premises</b>	Must be located in Precinct 6.
<b>Shop (other than Adult sex product shop, Bottle shop, Restricted retail premises and Supermarket)</b>	
<b>Supermarket</b>	Must be located in Precinct 1.
<b>Tramway</b>	
<b>Travel agency</b>	
<b>Any use listed in Clause 62.01</b>	Must meet requirements of Clause 62.01.

## FRANKSTON PLANNING SCHEME

### Section 2 - Permit required

Use	Condition
Adult sex product shop	Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from a residential zone or, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school. Must be located in Precinct 1.
Bottle shop	Must be located in Precinct 1 or 6.
Car park	Must be located in Precinct 1, 2 or 3.
Car wash	Must not be located in Precincts 1, 3 or 4.
Dry cleaner	Must be located in Precinct 1 or 6.
Gambling premises	Must be located in Precinct 1.
Market	
Nightclub	Must be located in Precinct 1. Any frontage at ground floor level must not exceed 2 metres.
Place of Assembly (other than Cinema, Cinema based entertainment facility, Drive-in theatre, Exhibition centre, Function centre, Library, Nightclub and Place of worship)	
Research and development centre	Must not be located in Precincts 1 or 3.
Service station	Must not be located in Precincts 1, 3 or 4.
Any other use not in Section 1 or 3	

### Section 3 – Prohibited

Use
Agriculture
Camping and caravan park
Cemetery
Corrective institution
Crematorium
Drive-in theatre
Host farm
Industry (other than Automated collection point, Car wash, Dry cleaner and Research and development centre)
Major sports and recreation facility
Motor racing track

## FRANKSTON PLANNING SCHEME

### Use

Motor vehicle boat or caravan sales

Primary produce sales

Recreational boat facility

Saleyard

Timber yard

Transport terminal (other than Railway station, Bus terminal and Heliport)

Warehouse

#### 4.0

11/04/2025  
C160fran

### Centre-wide provisions

#### 4.1

11/04/2025  
C160fran

### Use of land

None specified.

#### 4.2

11/04/2025  
C160fran

### Subdivision

None specified.

#### 4.3

11/04/2025  
C160fran

### Buildings and works

No permit is required to construct a building or construct or carry out works for the following:

#### Precincts 1, 2, 3, 4 and 6

- Install an automatic teller machine.
- Alter an existing building façade provided:
  - The alteration does not include the installation of an external roller shutter
  - At least 80 per cent of the building façade at ground floor level is maintained as an entry or window with clear glazing.
- Install an awning or canopy that projects over a road if it is authorised by the relevant public land manager.

#### Precinct 5

- Alter or extend one dwelling on a lot with an area of 300 square metres or greater.
- Construct or extend an out-building (other than a garage or carport) on a lot with an area of less than 300 square metres, provided the gross floor area of the out-building does not exceed 10 square metres and the maximum building height is not more than 3 metres above natural ground level.

#### 4.4

11/04/2025  
C160fran

### Design and development

The following design and development requirements apply to an application to construct a building or construct or carry out works:

#### General

Encourage the reconfiguration and consolidation of land where necessary to create viable development sites and optimal development of the activity centre.

Avoid the fragmentation of land that would result in sites not achieving the optimal development of the activity centre.

## FRANKSTON PLANNING SCHEME

Encourage buildings that contain residential uses to provide a diversity of housing sizes and types including affordable housing.

### Active frontages and interface with the public realm

Where **Diagram 1** indicates the provision of Primary Active Frontage Areas, incorporate a minimum of 80 per cent windows or entries with clear glazing along the ground level frontage.

Where **Diagram 1** indicates the provision of Secondary Active Frontage Areas, incorporate a minimum of 40 per cent windows or entries with clear glazing along the ground level frontage.

Design building interfaces to promote street level activity and surveillance of adjoining streets through activated frontages.

Provide canopies or verandahs on all buildings located in the Primary Active Frontage Areas and Active Frontage Areas.

Canopies or verandahs should be at an appropriate height above the footpath and sufficiently set back from the kerb to avoid damage from large vehicles while still providing effective weather protection, between 3.0m and 4.0m above the footpath level and 750mm from the kerb, and generally consistent with adjoining sites.

Design buildings to mitigate wind impacts to the public realm and building occupants including through providing measures to achieve suitable wind conditions around buildings.

Use materials in street wall levels that are tactile and visually interesting to reinforce the human scale.

Break up long expanses of floor to ceiling glazing within the street wall levels with a mixture of materials.

Avoid presenting blank walls to the public realm.

Within street wall levels above ground floor, design balconies to be embedded so that the street wall remains consistent while still supporting surveillance of the streets and adjoining public spaces.

Design upper levels of buildings, above the street wall, to provide habitable rooms or spaces with windows or balconies that overlook the public realm.

Design buildings on corner sites to actively address both frontages at all levels.

Design and site building entries to:

- Directly front the street.
- Be clearly defined and legible from the public realm.
- Be accessible for all abilities.
- Be safe for all users by being well lit, highly visible and avoiding concealed spaces.

In mixed use buildings, design residential entries to distinguish them from retail or commercial entries.

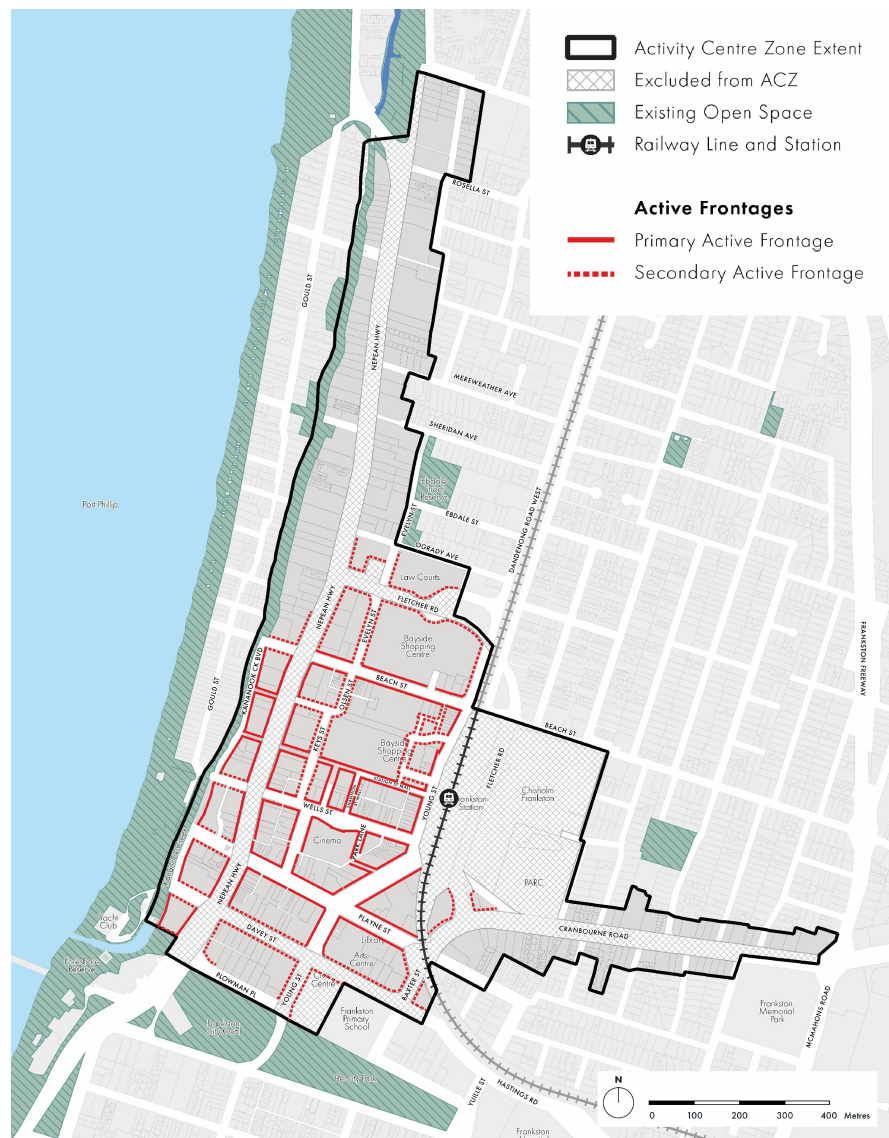
Encourage the provision of art, including sculptures, murals or similar, in areas that interface with the public realm.

Encourage buildings in areas subject to inundation to keep internal finished floor levels above the flood level and to provide any transition to ground level setbacks internally to the building where practicable.

Pedestrian Links should be either open to the sky or enable views of the sky.

### Diagram 1 - Active Frontages

# FRANKSTON PLANNING SCHEME



## Sustainable and adaptive use

Design buildings to support a high level of internal amenity and adaptation over time, including by providing minimum floor to floor heights in accordance with the requirements in Table 1.

Table 1– Floor to floor heights

Precinct	Preferred minimum floor to floor heights at ground level	Preferred minimum floor to floor heights above ground level to street wall height	Preferred minimum floor to floor heights above street wall height
1, 2, 3, 4 & 6	4.0m for all uses	3.5m for all uses	3.5m for non-residential uses

# FRANKSTON PLANNING SCHEME

Precinct	Preferred minimum floor to floor heights at ground level	Preferred minimum floor to floor heights above ground level to street wall height	Preferred minimum floor to floor heights above street wall height
5	4.0m for non-residential uses 3.2m for residential uses	3.5m for non-residential uses 3.2m for residential uses	3.2m for residential

Provide basement car parking wherever possible.

Where the provision of basement car parking is not possible due to site or environmental constraints, and parking needs to be provided above ground in the street wall levels, design the levels to meet the requirements for non-residential uses in accordance with the requirements in Table 1.

Sleeve parking provided in street wall levels with active uses.

Avoid providing car parking above street wall levels.

## Side and rear setbacks and building separation

Unless otherwise indicated in the Precinct requirements walls are to be built to the side boundaries up to the street wall height.

Where development shares a common boundary with an adjoining site and no setbacks are identified in the specific Precinct requirements, provide side and rear setbacks above the street wall height in accordance with the requirements set out in Table 2 and illustrated in Diagram 2.

Where sites are separated by a laneway which is not shown as a pedestrian link, apply side and rear setbacks above the street wall height from the centre of the laneway or a minimum setback above the street wall height of 3.0m, whichever is greater.

Where there are multiple towers within the site, provide tower separation in accordance with the requirement in Table 2.

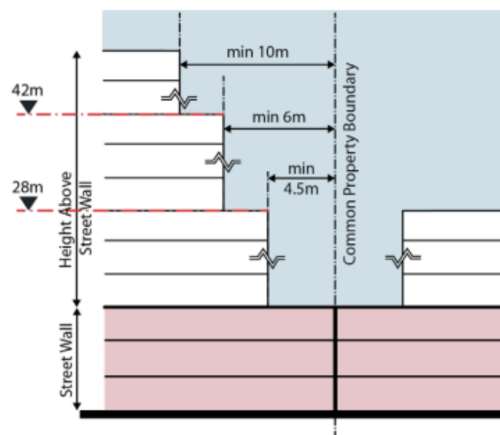
**Table 2 - Side and rear setbacks above street wall height**

Building height	Preferred minimum side and rear setback above the street wall height	Preferred minimum tower separation within a site above the street wall height
Up to 28.0m	4.5m	9.0m
Above 28.0m up to 42.0m	6.0m	12.0m
Above 42.0m	10.0m	20.0m

**Diagram 2 – Side and rear setbacks above street wall height**



## FRANKSTON PLANNING SCHEME



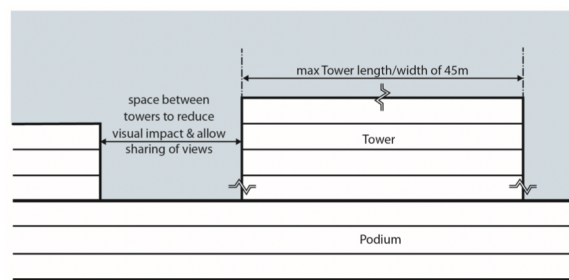
Ensure that sufficient setbacks are provided as needed to allow for vehicle access, car parking and servicing.

### Design of tower elements

Design buildings with a maximum tower length/width of 45 metres to reduce visual impact and allow for sharing of views. Refer to **Diagram 3**.

Where buildings include a tower component articulate all facades of the tower.

### Diagram 3 – Length/width of tower elements



### Building design and layout

Design buildings to incorporate a coastal aesthetic through measures including architectural detail and articulation, and the use of materials, textures and finishes that complement the coastal landscape.

Articulate building facades through the design of openings, balconies, varied materials, recessed and projected elements, and revealing structural elements, instead of relying on excessive use of materials.

Projections such as balconies, building services and architectural features should not intrude into upper level front, side and rear setbacks above the street wall height.

Address the visual impact of large buildings through significant breaks and recesses in building massing.

Provide consistent street, side and rear setbacks for the majority of the upper levels above the street wall height to avoid repetitive stepped elements.

Design buildings to create an interesting and varied skyline.

## FRANKSTON PLANNING SCHEME

Buildings should be built or clad with high quality, robust materials that do not generate reflected disability or discomfort glare, and can withstand the effects of weathering.

Site, design, layout and construct buildings to include acoustic attenuation measures to manage noise levels from on and off-site noise sources.

Site, design, layout and construct dwellings within buildings to minimise noise transmission within the site and to adjoining sites.

Avoid relying on excessive screening to prevent overlooking.

Articulate walls on boundaries that will eventually be built out with measures such as the use of art, pre-cast patterned concrete or similar.

### Access and services

Rooftop services may exceed the maximum building height provided they are:

- No more than 3.6 metres above the maximum building height.
- Stepped back on all sides no less than 3 metres from the edge of the building.
- Screened from view.

Provide vehicle access to loading and waste areas, services and car parking from laneways and secondary streets and locate these areas away from streets and public spaces or within basements or upper levels. Access doors should be designed as an integrated element of the building.

Where vehicle access cannot be provided from laneways and secondary streets, access points should be minimised to reduce disruption to the footpaths and on-street car parking and located to avoid street trees.

Integrate and design services and utilities in such a way that they blend with the overall design of the development.

Avoid or minimise building utilities and services at ground floor street frontages to prioritise active frontages.

Ensure all services located on balconies, such as air conditioning units, are screened from public view.

### Landscaping, landscaped setbacks and open space

Where landscaped setbacks are specified in Precinct requirements:

- Provide integrated, well designed soft landscape within sites to reduce the impact of urban heat island effect, provide increased biodiversity and habitat and contribute to a strong, visually engaging landscape character maximising the use of ground level setbacks.
- Incorporate landscaping areas that comprise a minimum of 60 per cent of the total front setback area.
- Maximise deep soil planting areas in front and rear setbacks to incorporate canopy trees.
- Avoid projections such as balconies and building services into the landscaped setbacks.

Encourage the use of green roofs, walls and balconies to further contribute to a visually engaging landscape character and reduce the impact of urban heat island effect.

Encourage planting themes that use a minimum of 40 per cent indigenous and 40 per cent native species to respect the coastal character of the local area.

Encourage the provision of communal garden spaces at podium and rooftop levels to create amenity for residents, workers and visitors.

## FRANKSTON PLANNING SCHEME

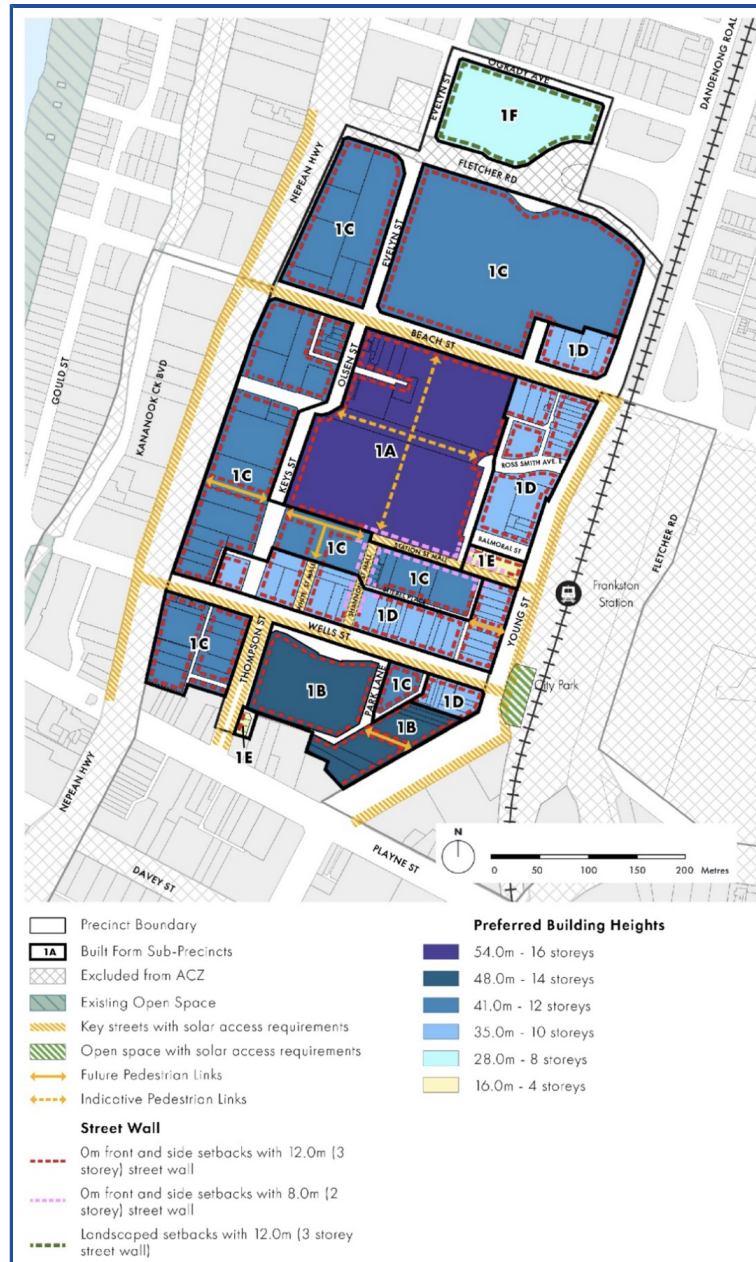
### 5.0 Precinct provisions

14/04/2025  
G160frankston Proposed C167frankston



### 5.1 Precinct 1 – City Centre

#### 5.1-1 Precinct map



## FRANKSTON PLANNING SCHEME

### 5.1-2 Precinct objectives

To maintain the City Centre as the focus for retail, dining and entertainment uses across the day and night.

To support residential, office, accommodation and other uses on upper levels of buildings.

To encourage built form outcomes that reflect the role of the City Centre and maintain a pedestrian scale at street level with taller building elements set above and behind.

To maintain and enhance the fine-grain rhythm of shopfronts across the City Centre streets.

To improve walkability and pedestrian amenity in the City Centre and connections between the City Centre and the Promenade.

### 5.1-3 Precinct requirements

**Table 3 – Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
1A	54.0m (16 storeys)	All streets and all laneways 12.0m (3 storeys) other than to Shannon Mall and Station Street Mall where the street wall height is 8.0m (2 storeys).  Where a building is on a corner, apply the street wall height as shown on the Precinct map at 5.1-1.
1B	48.0m (14 storeys)	
1C	41.0m (12 storeys)	
1D	35.0m (10 storeys)	
1E	16.0m (4 storeys)	
1F	22.0m (6 storeys)	

**Table 4 – Building setbacks**

Sub-precinct	Preferred building setback	Preferred minimum upper level setbacks
1A	0.0m to all streets.	5.0m upper level setback from the street wall.
1B		3.0m upper level setback from a street wall where the street wall abuts a pedestrian link.
1C		
1D		
1E		
1F	Minimum 3.0m to all streets for the provision of landscaping.	

**Table 5 – Pedestrian links**

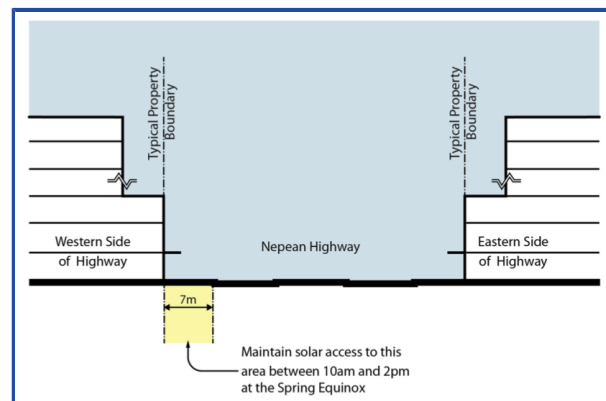
Sub-precinct	Property	Preferred minimum width
1B	122-124 Young Street	6.0m
1C	431 Nepean Highway	3.4m from southern boundary.
	19 Keys Street	5.6m from northern boundary.
	12 Balmoral Walk	12.3m from northern boundary for the continuation of the Shannon Street Mall. 9.5m to align with the Station Street Mall.
	76 Young Street	6.0m to align with Stiebel Place.

## FRANKSTON PLANNING SCHEME

**Table 6 – Solar Access**

Street or public space	Location	Preferred minimum solar access to be maintained
Nepean Highway	Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer to <b>Diagram 4</b> ).	Between 10am and 2pm on 22 September.
Wells Street	Entire southern footpath to the kerb line.	
Beach Street	Entire southern footpath to the kerb line.	
Thompson Street	Entire eastern and western footpaths to the kerb line.	
Young Street	Entire eastern footpath to the kerb line.	
City Park	All (Refer to <b>Diagram 5</b> ).	Between 10am and 1pm on 22 June.
Shannon Mall	All (Refer to <b>Diagram 6</b> ).	No additional shadow beyond what would be cast by an 8.0m (2 storey) street wall between 10am and 1pm on 22 September.
Station Street Mall	All (Refer to <b>Diagram 6</b> ).	No additional shadow beyond what would be cast by an 8.0m (2 storey) street wall at 10am on 22 September.
White Street Mall	All (Refer to <b>Diagram 7</b> ).	No additional shadow beyond what would be cast by a 12.0m (3 storey) street wall between 10am and 1pm on 22 September.

**Diagram 4 Nepean Highway**



**Diagram 5 City Park**

FRANKSTON PLANNING SCHEME

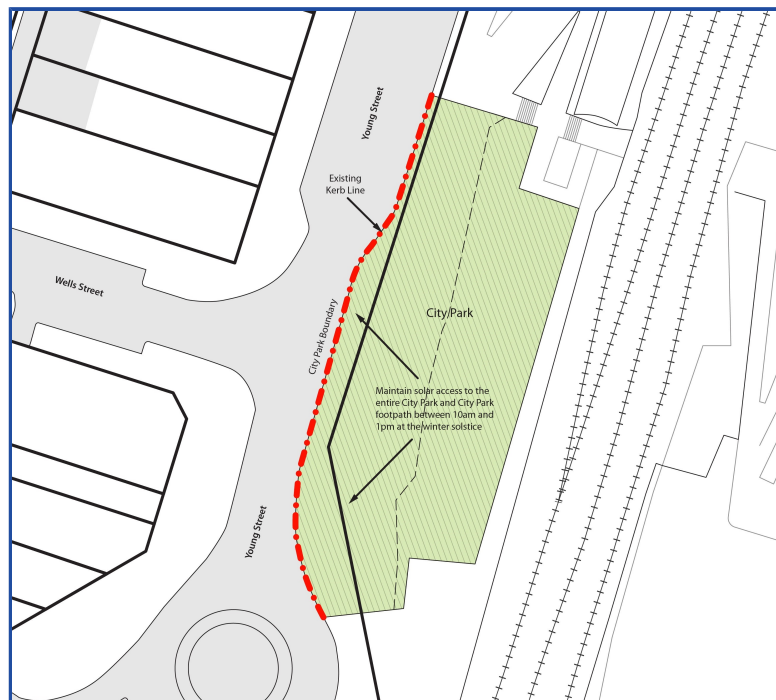


Diagram 6 Shannon and Station Street Malls

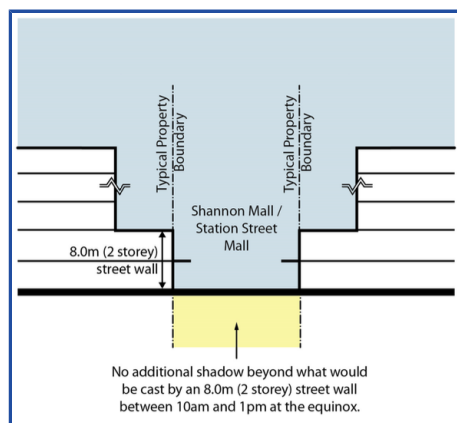
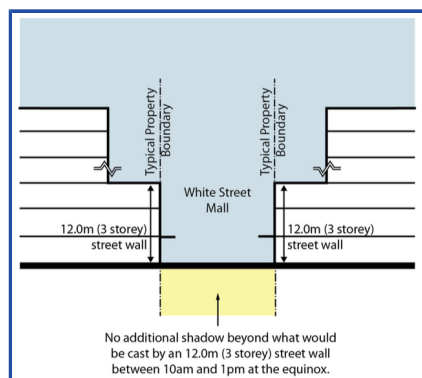


Diagram 7 White Street Mall

## FRANKSTON PLANNING SCHEME



### 5.1-4 Precinct guidelines

Direct uses that do not provide active frontages to upper levels of buildings.

Design buildings to reinforce the pedestrian scale with fine grain building articulation regardless of tenancy size.

Address laneways with active uses at ground level where practicable and provide surveillance of laneways from upper levels of development.

Encourage the consolidation of Bayside Shopping Centre car parks and loading areas to surrounding streets to enhance the pedestrian environment.

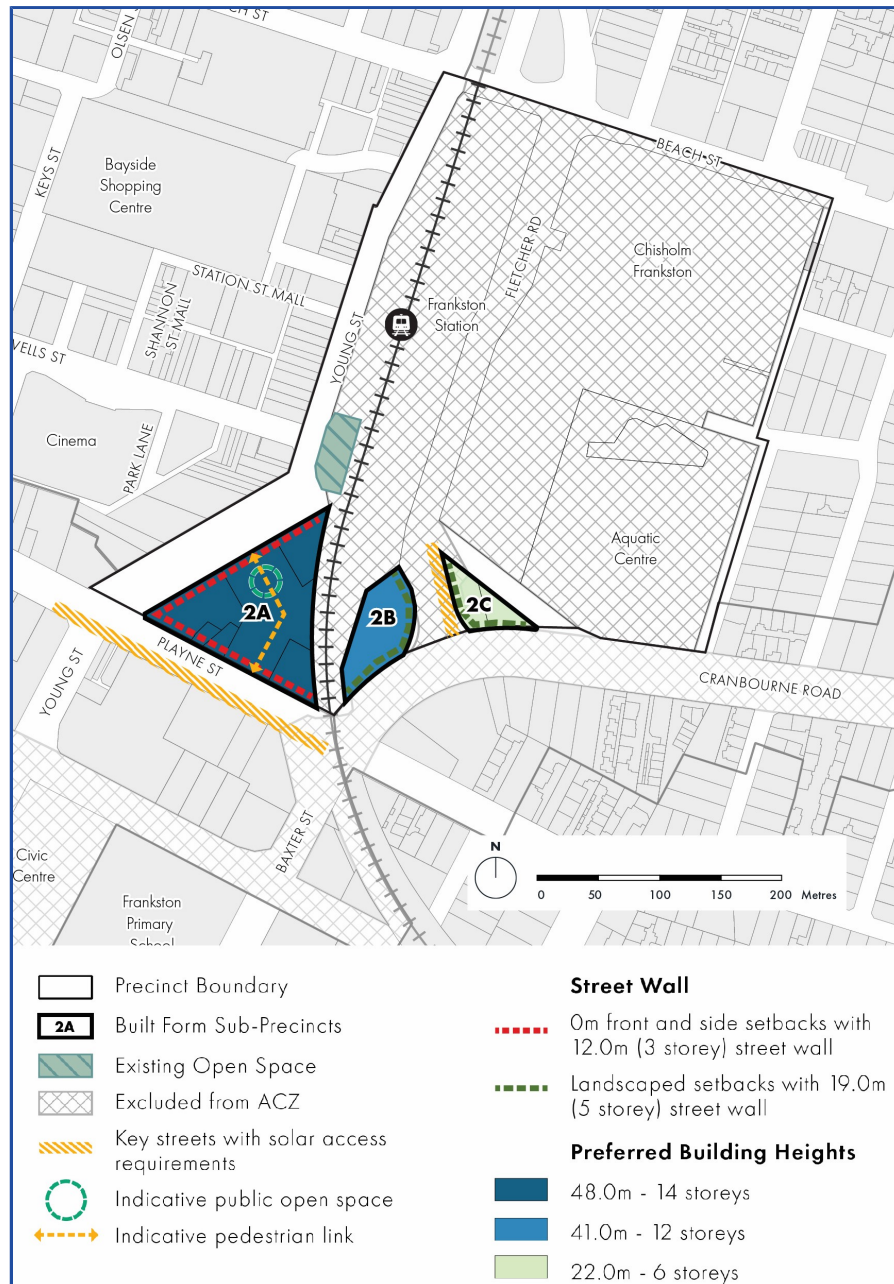
### 5.1-5 Any other requirements

None specified.

## FRANKSTON PLANNING SCHEME

### 5.2 Precinct 2 – Transport Interchange, Community & Education

#### 5.2-1 Precinct map





## FRANKSTON PLANNING SCHEME

### 5.2-2 Precinct objectives

To create an active, safe and attractive precinct that welcomes people to a place for business, education, retail, hospitality, community and institutional uses, offices and housing.

To provide a built form including landscaping and canopy trees within landscaped setbacks as shown on the map at clause 5.2-1 that contributes to a high amenity entry experience into the City Centre.

To contribute to the significance of adjacent Precincts 1 and 3 by delivering high quality, activated streetscapes that encourage pedestrian engagement.

### 5.2-3 Precinct requirements

**Table 7 - Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
2A	48.0m (14 storeys)	12.0m (3 storeys).
2B	41.0m (12 storeys)	19.0m (5 storeys).
2C	22.0m (6 storeys)	19.0m (5 storeys).

**Table 8 – Building setbacks**

Sub-precinct	Preferred building setback	Preferred minimum upper level setbacks
2A	0.0m to all streets.	5.0m upper level setback from the street wall.
2B	Minimum 3.0 metres to all streets to provide for landscaping and the retention of existing canopy trees.	
2C		

**Table 9 – Solar Access**

Street or public space	Location	Preferred minimum solar access to be maintained
Playne Street	Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.	Between 10am and 2pm on 22 September.
Fletcher Road	Entire eastern footpath to the kerb line.	

### 5.2-4 Precinct guidelines

Provide landscaping in areas identified as landscaped setbacks to Fletcher Road and Cranbourne Road.

Seek to retain existing canopy trees where practical.

Provide active frontages to open spaces and pedestrian links to create safe and vibrant places.

Encourage the provision of new public open space on 79R-83R Young Street as part of its redevelopment.

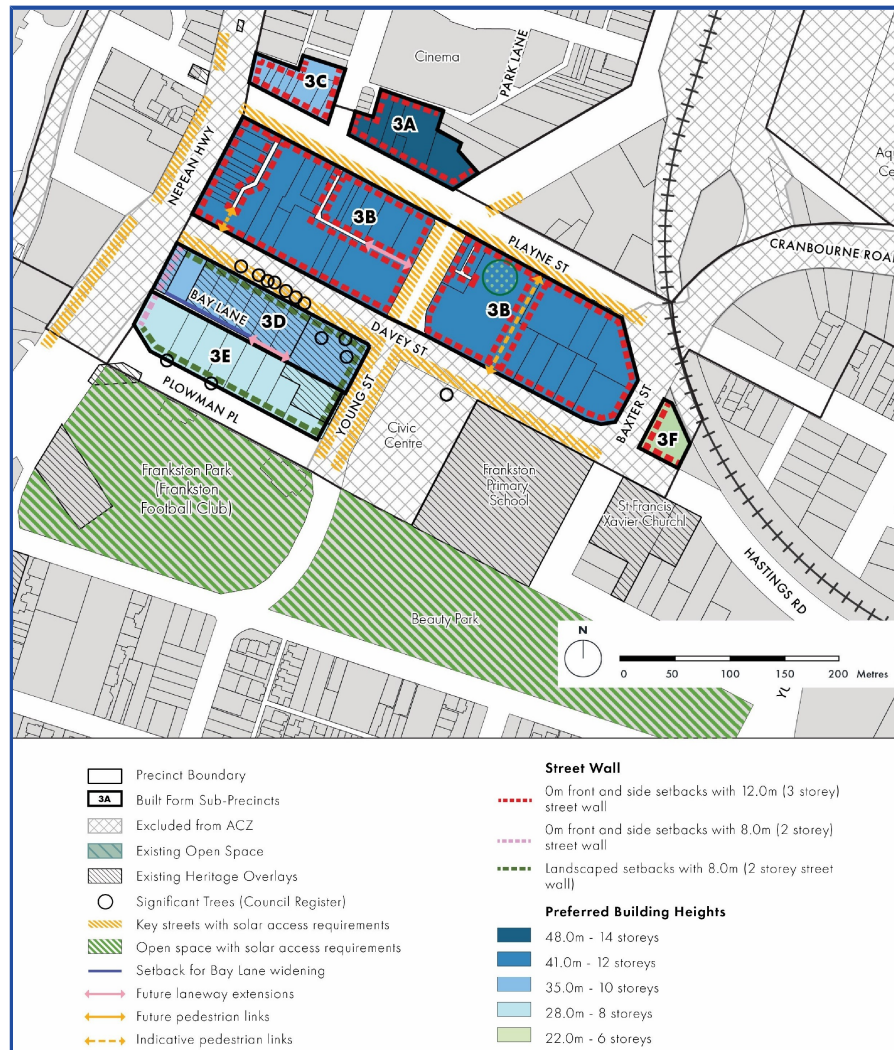
## FRANKSTON PLANNING SCHEME

### 5.2-5 Any other requirements

None Specified.

### 5.3 Precinct 3 – Arts, Entertainment and Government Services

#### 5.3-1 Precinct map



#### 5.3-2 Precinct objectives

To activate Playne Street with retail, restaurants, cafes, arts and entertainment uses during the day and night and provide for employment, community, government services and residential uses along Davey Street and Ploverman Place.

To provide accommodation and office uses on upper levels of buildings across the precinct.

## FRANKSTON PLANNING SCHEME

To ensure the impact of built form on adjoining heritage places on Davey Street is appropriate when viewed from surrounding areas.

To provide a built form including landscaping and canopy trees within landscaped setbacks as shown on the map at clause 5.3-1, that contribute to a high amenity entry experience into the Frankston MAC.

To increase connectivity within the precinct.

### 5.3-3

#### Precinct requirements

**Table 10 - Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall heights
3A	48.0m (14 storeys)	12.0m (3 storeys)
3B	41.0m (12 storeys)	
3C	35.0m (10 storeys)	
3D	35.0m (10 storeys)	8.0m (2 storeys)
3E	28.0m (8 storeys)	
3F	22.0m (6 storeys)	12.0m (3 storeys)

**Table 11 - Building setbacks**

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
3A	0.0m to all streets.	5.0m upper level setback from the street wall.
3B		
3C		
3D	0.0m to Nepean Highway. Minimum 4.0m to Young Street. Minimum 7.0m to Davey Street to respect heritage places. Additional setbacks to protect significant trees as needed.	
3E	0.0m to Nepean Highway. Minimum 4.0m to Young Street and Plowman Place. Additional setbacks to protect significant trees as needed.	
3F	0.0m to all streets.	

**Table 12 – Laneway widening and extensions**

Sub-precinct	Property	Minimum width
3B	170R Young Street	3.0m to align with Arthurs Lane.
3D	6 Davey Street	2.0m from rear boundary to widen Bay Lane.
	8, 10, 12, 14 Davey Street	4.5m from rear boundary to widen Bay Lane.

FRANKSTON PLANNING SCHEME

Sub-precinct	Property	Minimum width
	16, 18 Davey Street	7.5m from rear boundary to align with Bay Lane.

Table 13 - Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Nepean Highway	Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer <b>Diagram 4</b> ).	Between 10am and 2pm on 22 September.
Playne Street	Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.	
Davey Street	Entire southern footpath to the kerb line including the nature strip and <del>Norfold</del> Norfolk Island Pines.	
Young Street	Entire eastern and western footpaths to the kerb line.	
Beauty Park	Beyond the northern edge of the existing shared path to the kerb line (Refer <b>Diagram 8</b> ).	Between 10am and 2pm on 22 June.
Frankston Oval	Beyond a distance of 30m from the northern property boundary (Refer <b>Diagram 9</b> ).	

Diagram 8 Beauty Park

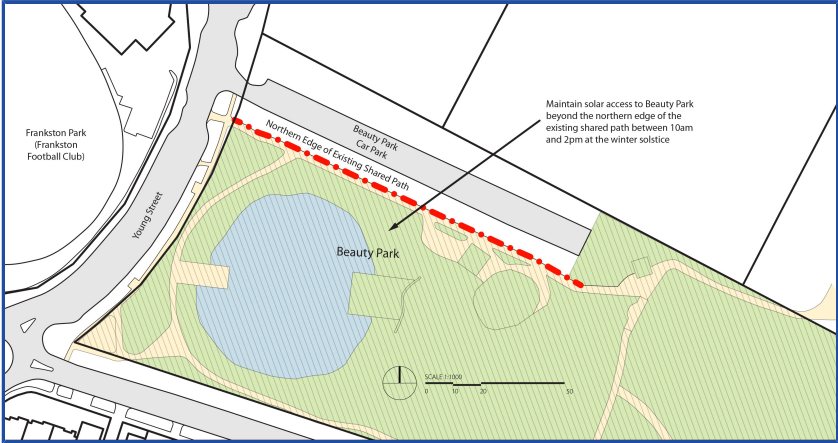
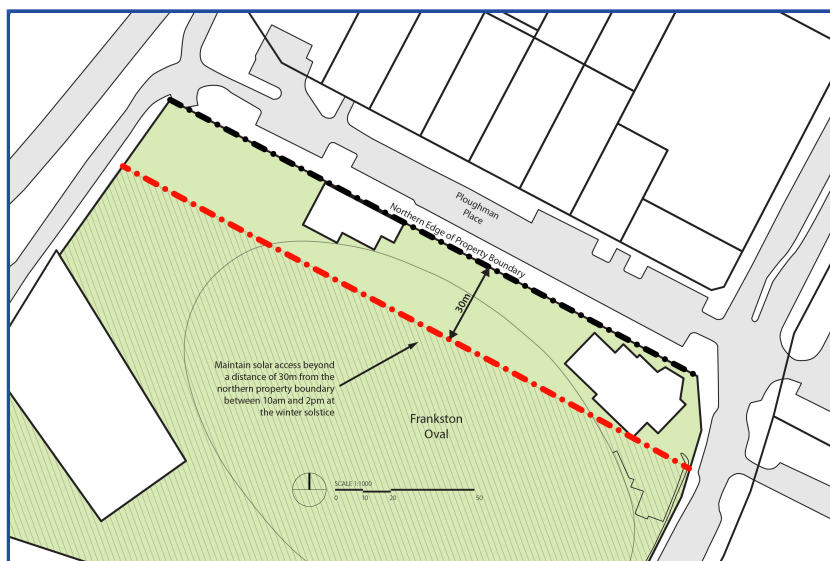


Diagram 9 Frankston Oval

## FRANKSTON PLANNING SCHEME



### 5.3-4

#### Precinct guidelines

Design buildings to respond to the topography and provide accessible ground levels from each street frontage.

Provide the appearance of narrower tenancies to Playne Street, Nepean Highway and Young Street to maintain the existing fine grain nature of the streetscapes.

Provide for wider tenancies along Davey Street to suit a variety of business uses.

Address laneways with active uses at ground level where possible and incorporate high quality finishes for all services.

Provide surveillance of laneways from upper levels.

Encourage development on land adjoining the Heritage Overlay that:

- Does not dominate the adjoining heritage place.
- Uses materials and finishes with textures and colours that allow development to appear visually recessive from heritage places on adjoining sites.
- Incorporates simple architectural detailing that does not detract from the adjoining heritage places.

Incorporate canopy trees and complimentary coastal landscaping in setbacks along Davey Street.

Retain and reinforce low, visually permeable fencing to the southern side of Davey Street.

Development should be designed to integrate identified Significant Trees through appropriate setbacks, building recesses and courtyard spaces.

Ensure development is designed to protect existing trees through the provision of setbacks, tree protection measures and the like.

Where properties have frontages to both Playne Street and Davey Street, provide vehicle access from Davey Street rather than Playne Street where possible.

Where properties abut Bay Lane, provide vehicle access from the lane.

Provide landscaped front setbacks south of Davey Street to provide a built form transition into the adjoining residential areas.

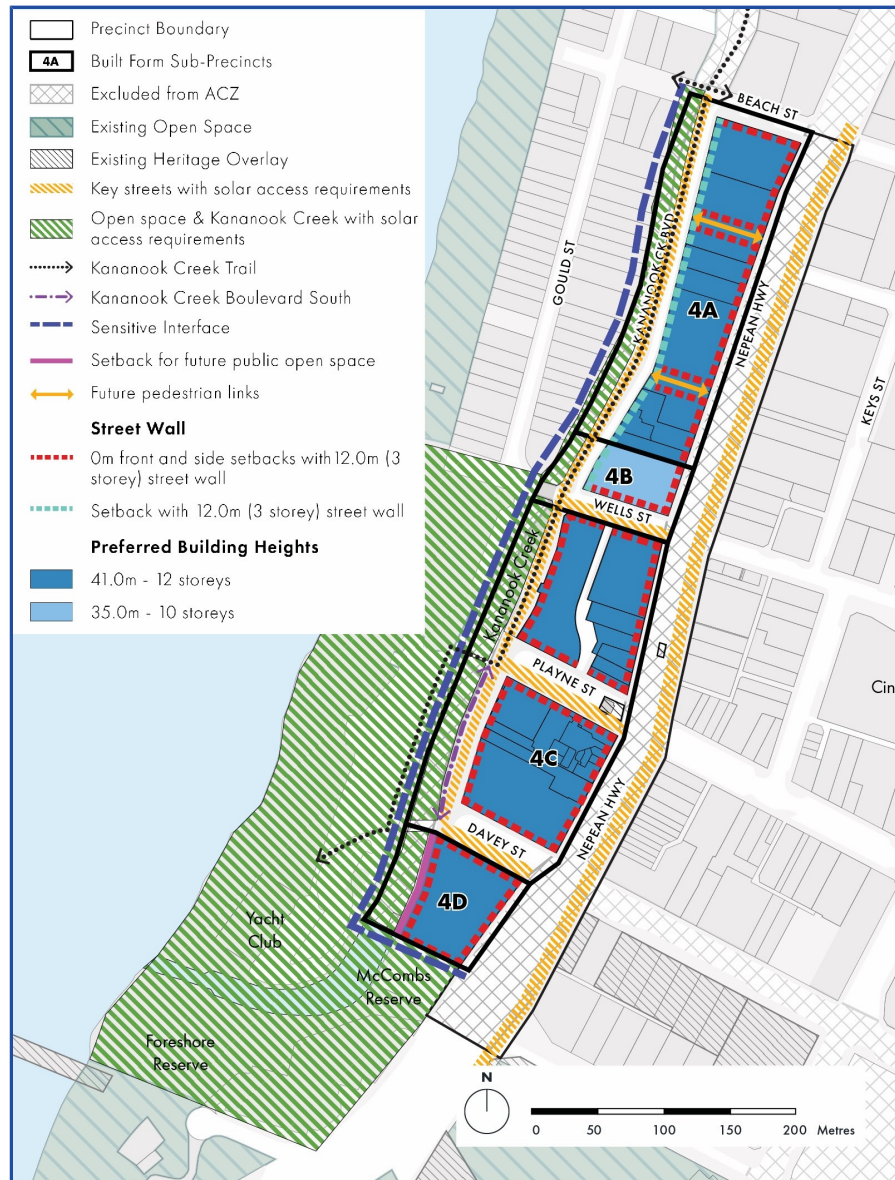
## FRANKSTON PLANNING SCHEME

### 5.3-5 Any other requirements

None specified.

### 5.4 Precinct 4 – Promenade

#### 5.4-1 Precinct map





## FRANKSTON PLANNING SCHEME

### 5.4-2 Precinct objectives

To encourage built form along Nepean Highway that is responsive to its role as a green boulevard and supports outdoor dining and social interaction.

To activate Kananook Creek, Nepean Highway, Beach Street, Wells Street, Playne Street and Davey Street with retail, restaurants, cafes, arts and entertainment uses across the day and night and increase connectivity between the Promenade and the City Centre.

To support residential and office uses on upper levels of buildings.

To encourage built form that creates a high quality backdrop when viewed from the foreshore reserve and Kananook Creek.

To address the potential visual dominance of development when viewed from the foreshore reserve and Gould Street residences.

### 5.4-3 Precinct requirements

**Table 14 - Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
4A	41.0m (12 storeys)	12.0m (3 storeys)
4B	35.0m (10 storeys)	
4C	41.0m (12 storeys)	
4D		

A permit cannot be granted for buildings or works that are set back less than the minimum requirements specified in Table 15.

**Table 15 - Mandatory building setbacks**

Sub-precinct	Mandatory minimum building setback	Mandatory minimum upper level setbacks
4A	3.0m setback of the street wall of the building to Kananook Creek Boulevard between Wells and Beach Streets to provide for outdoor dining or other active space.	None specified.
4B		
4D	9.0m to western boundary of 510 Nepean Highway for the continuation of Kananook Creek Promenade.	

**Table 16 - Pedestrian links**

Sub-precinct	Property	Preferred minimum width
4A	446 Nepean Highway	4.5m from northern boundary.
	438 – 444 Nepean Highway	4.5m from southern boundary.
	432 Nepean Highway	4.5m from northern boundary.
	428 Nepean Highway	4.5m from southern boundary.

FRANKSTON PLANNING SCHEME

Table 17 - Building setbacks

Sub-precinct	Preferred building setbacks	Preferred upper level setbacks
All precincts	0.0m to all streets and Kananook Creek Promenade other than Kananook Creek Boulevard between Beach and Wells Street.	10.0m from the mandatory street wall setback to Kananook Creek Promenade and Boulevard to contribute to a recessive tower form when viewed from the west.  5.0m upper level setback from the street wall to Beach Street, Wells Street, Playne Street, Davey Street and Nepean Highway.
4A		Development above 35m (10 storeys) should be set back so that it is recessive from the tower form when viewed from the opposite Gould Street properties. The assessment should be measured from a distance of 10.0m from the rear boundary of the Gould Street properties. Refer to <b>Diagram 10</b> .  3.0m upper level setback from a street wall where the street wall abuts a pedestrian link.
4B		Development above 35m (10 storeys) should be set back so that it is recessive from the tower form when viewed from the opposite Gould Street properties. The assessment should be measured from a distance of 10.0m from the rear boundary of the Gould Street properties. Refer to <b>Diagram 10</b> .
4C		Development above 35m (10 storeys) should be set back so it is recessive from the tower form from the Kananook Creek Trail within the foreshore reserve opposite. Refer to <b>Diagram 11</b> .
4D		10.0m setback above the street wall height to McCombs Reserve interface.  Development above 35m (10 storeys) should be set back so it is recessive from the tower form from the Kananook Creek Trail within the foreshore reserve opposite. Refer to <b>Diagram 12</b> .

Diagram 10 Upper level setbacks from Gould Street properties Precinct 4A and 4B



FRANKSTON PLANNING SCHEME

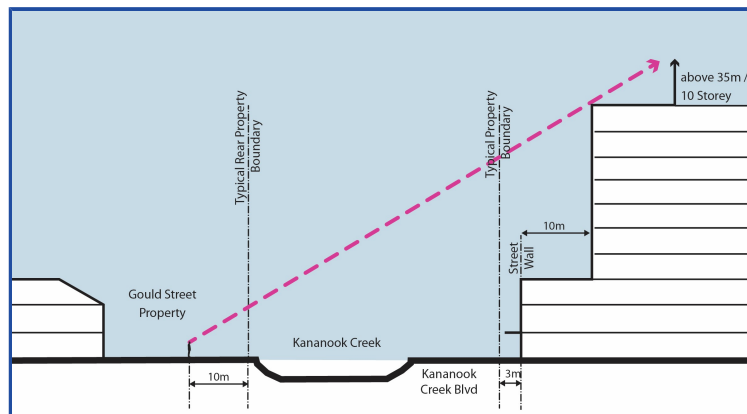


Diagram 11 Upper level setbacks from Kananook Creek trail and foreshore Precinct 4C

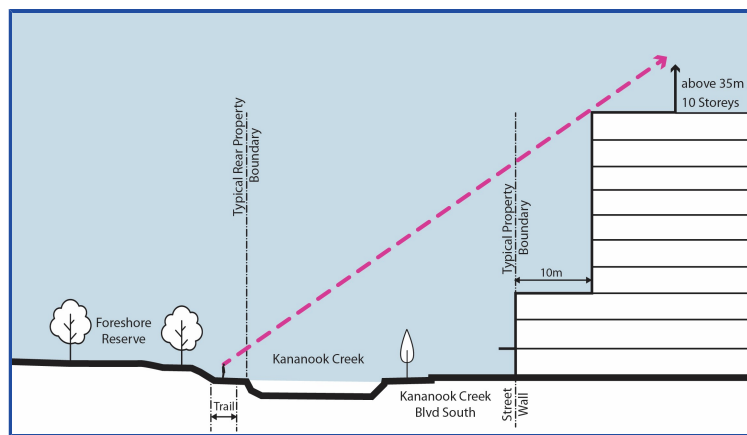
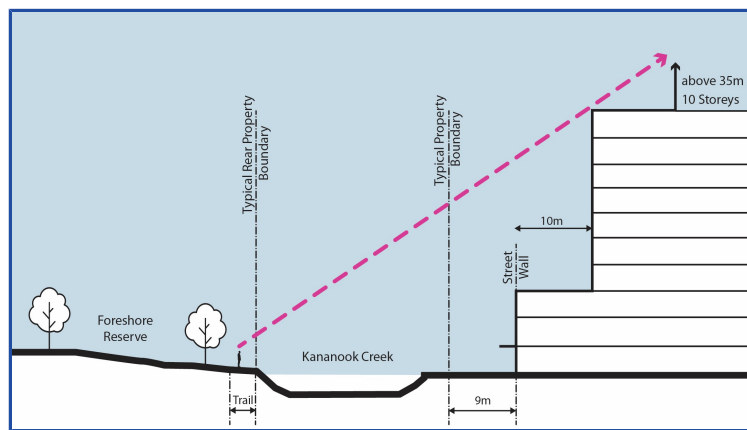


Diagram 12 Upper level setbacks from Kananook Creek trail and foreshore Precinct 4D



FRANKSTON PLANNING SCHEME

Table 18 - Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Kananook Creek	Eastern edge of Kananook Creek (Refer <b>Diagram 13</b> ).	Between 10am and 2pm on 22 September.
Foreshore reserve	All (Refer <b>Diagram 14</b> ).	Between 10am and 2pm on 22 June.
Kananook Creek trail	All	Between 10am and 2pm on 22 September.
Kananook Creek Boulevard South	Beyond a distance of 9.0m from the eastern boundary of the road reserve (Refer <b>Diagram 15</b> ).	
Future Kananook Creek Promenade (510 Nepean Highway)	Beyond a distance of 7.0m from the eastern edge of the future promenade (Refer <b>Diagram 16</b> ).	
McCombs Reserve	Beyond a distance of 20.0m from the northern property boundary of the reserve (Refer <b>Diagram 17</b> ).	
Nepean Highway	Within 7.0m of the eastern property boundary of Nepean Highway (Refer <b>Diagram 18</b> ).	
Wells Street	Entire southern footpath to the kerb line.	
Playne Street		
Davey Street		

Diagram 13 Kananook Creek eastern edge

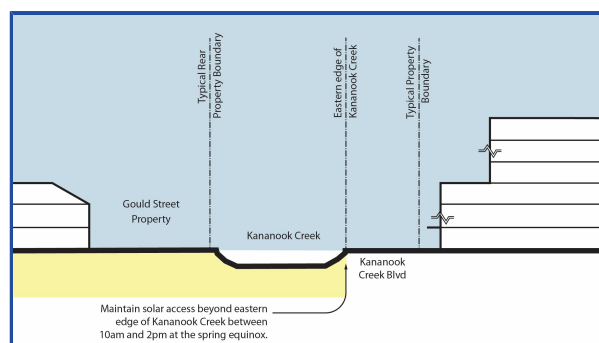
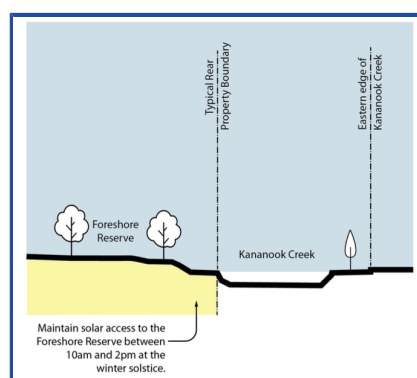


Diagram 14 Foreshore Reserve



FRANKSTON PLANNING SCHEME

Diagram 15 Kananook Creek Boulevard South

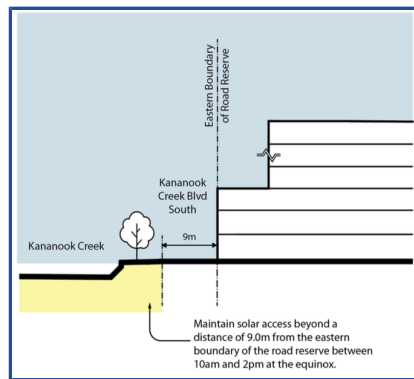


Diagram 16 Kananook Creek Promenade

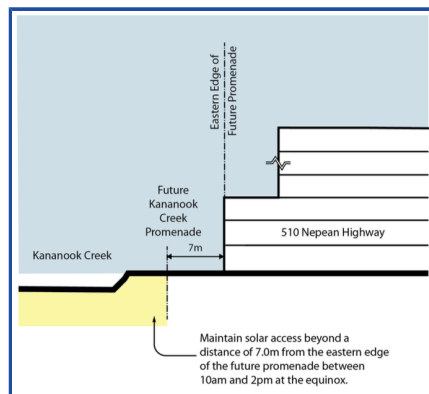


Diagram 17 McCombs Reserve

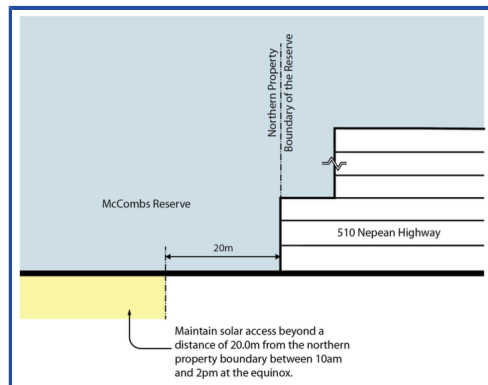
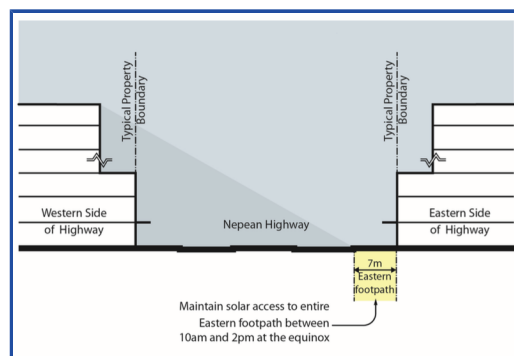


Diagram 18 Nepean Highway

## FRANKSTON PLANNING SCHEME



### 5.4-4 Precinct guidelines

Direct residential uses and uses that do not provide an active frontage to upper levels of buildings. Development should provide a mix of narrower and wider tenancies along Nepean Highway to support a variety of land uses.

Towers should be designed with slender forms, narrower than the 45m width specified in **Section 4.4 Design of tower elements**, that maximise spaces between built form elements.

Design buildings to respond to the topography and potential for inundation so that the ground level of any setback area to Kananook Creek Boulevard is generally consistent with the existing footpath level at both the Kananook Creek and Nepean Highway frontages.

Ensure that the internal area of buildings and any basements are designed to be protected from inundation from Kananook Creek in a 1% Annual Exceedance Probability flood event and under a 2100 sea level rise scenario.

Design buildings to enhance views from Kananook Creek and Foreshore Reserve.

Architectural elements, balconies and building services should generally not intrude into ground floor setbacks in Precinct 4. Above ground level, where they do, they should not present as solid elements which give the appearance of the street wall coming forward.

Address laneways and pedestrian links with active uses at ground level and provide surveillance from upper levels of development.

Provide activated spaces along the Kananook Creek frontage and Kananook Creek Boulevard/Promenade to provide high quality space for pedestrian amenity and outdoor dining.

Encourage use or development that would result in any of the following:

- Provide active frontages at ground level.
- Optimise pedestrian amenity.
- Manage significant traffic and vehicle movements on streets and laneways.

Provide vehicle access to basement car parks from Beach Street, Wells Street, Playne Street and Davey Street rather than from Nepean Highway and Kananook Creek Boulevard where possible.

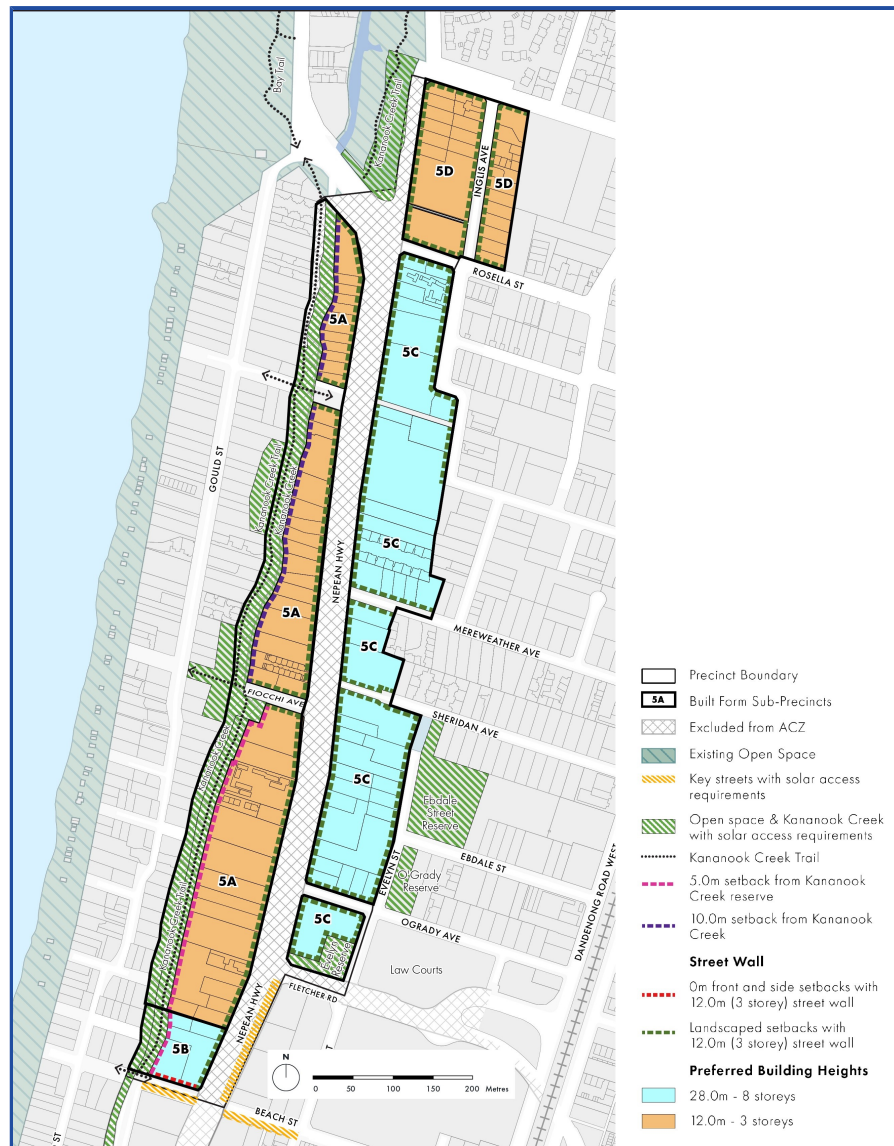
### 5.4-5 Any other requirements

None specified.

## FRANKSTON PLANNING SCHEME

### 5.5 Precinct 5 – Nepean Boulevard

#### 5.5-1 Precinct map



#### 5.5-2 Precinct objectives

To encourage development along the Nepean Highway Boulevard that is responsive to its role as an entry to the Frankston MAC.

To provide for a range of commercial and residential uses that complement the mixed-use function of the precinct.

To support mid-scale apartment and townhouse development across the precinct.

## FRANKSTON PLANNING SCHEME

To provide landscaping and canopy trees in the landscaped setbacks identified in the map at clause 5.5-1 to complement the Nepean Highway Boulevard landscape and retain existing canopy trees.

**5.5-3 Precinct requirements****Table 19 - Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
5A	12.0m (3 storeys)	12.0m (3 storeys)
5B	28.0m (8 storeys)	
5C		
5D	12.0m (3 storeys)	

A permit cannot be granted for buildings or works that are set back less than the minimum requirements specified in Table 20 and any specified condition must also be met.

**Table 20 - Mandatory building setbacks**

Sub-precinct	Mandatory minimum building setbacks	Mandatory minimum upper level setbacks
5A	<p>Where properties abut Kananook Creek Reserve: Minimum 5.0m from the rear boundary or to a surface level above the 1.7m AHD contour, whichever is greater (<b>Refer Diagram 19</b>).</p> <p>Where properties abut Kananook Creek: Minimum 10.0m from the 1.15m AHD contour (2 year Annual Recurrence Interval) or to a surface level above the 1.7m AHD contour, whichever is greater (<b>Refer Diagram 20</b>).</p> <p>in either case, above the minimum building setback and below the 2.4m AHD contour, there must be no loss of flood storage through impervious enclosure or filling of the area.</p>	None specified
5B	<p>Where properties abut Kananook Creek Reserve: Minimum 5.0m from the rear boundary or to a surface level above the 1.7m AHD contour, whichever is greater (<b>Refer Diagram 21</b>).</p> <p>Within the minimum building setback and below the 2.4m AHD contour, there must be no loss of flood storage through impervious enclosure or filling of the area.</p>	None specified

**Table 21 - Building setbacks**

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
All precincts	Side setbacks to provide visual breaks between buildings and support landscaping opportunities.	

FRANKSTON PLANNING SCHEME

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
5A	Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets.	Where a site abuts Kananook Creek or Kananook Creek Reserve, the second and third levels should be set back 3.0m from the level below. Private open space is permitted within this setback.
5B	Minimum 5.0m to Nepean Highway. 0.0m to Beach Street.	5.0m upper-level setback from the street wall for development above 12.0m.  Where a site abuts Kananook Creek Reserve, the second and third levels should be set back 3.0m from the level below. Private open space is permitted within this setback. Upper levels above the third level should be setback a further 5.0m.
5C	Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets. Minimum 4.5m from the rear boundary to provide for landscaping.	5.0m upper-level setback from the street wall for development above 12.0m.
5D	0.0m to Kitson Street. Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets. Minimum 4.5m from the rear boundary to provide for landscaping.	None specified

Diagram 19 – Kananook Creek Reserve setbacks Precinct 5A

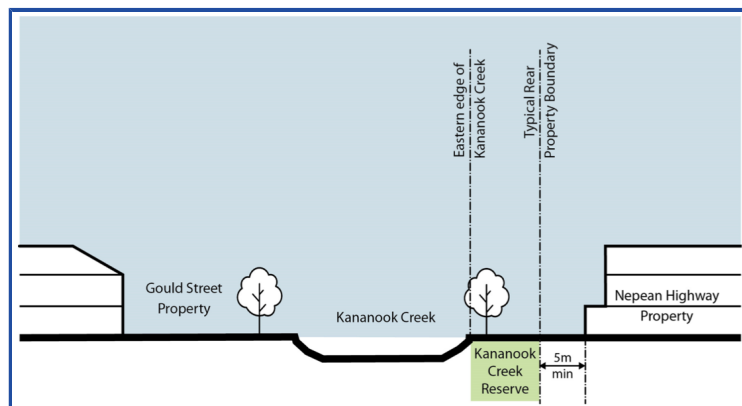
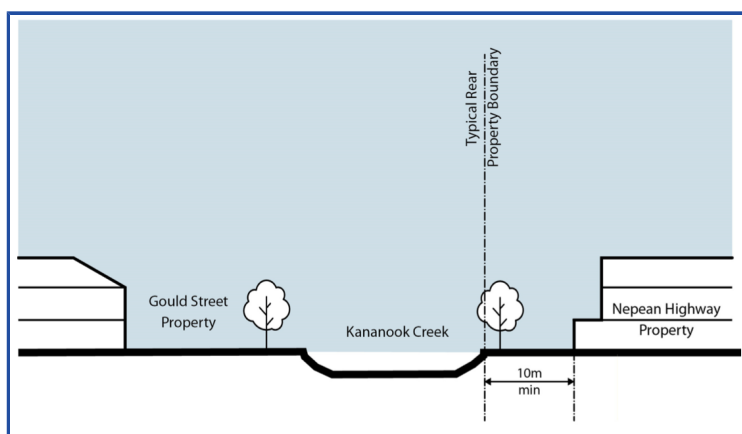
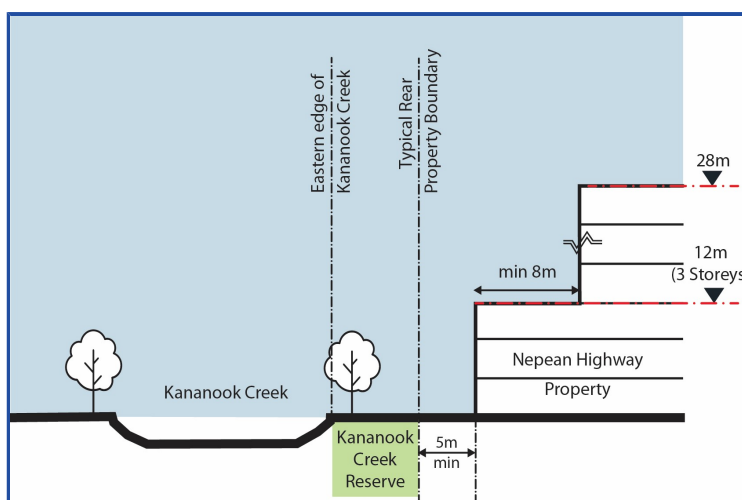


Diagram 20 – Kananook Creek setbacks Precinct 5A

# FRANKSTON PLANNING SCHEME



**Diagram 21 – Kananook Creek Reserve setbacks Precinct 5B**



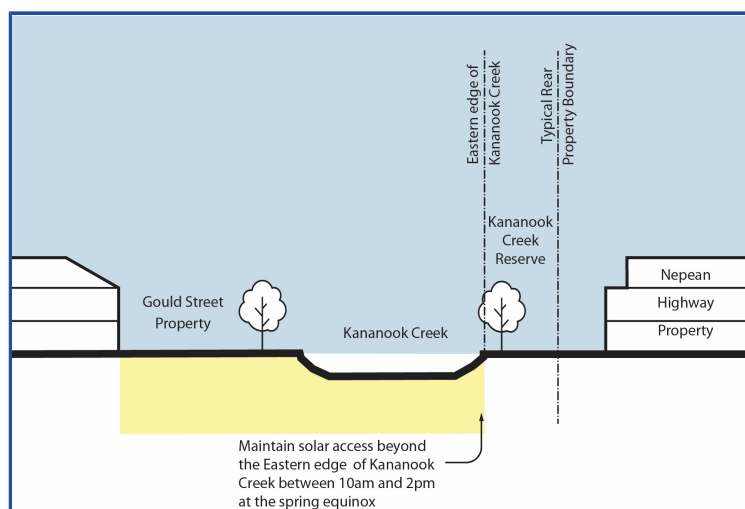
**Table 22 - Solar Access**

Street or public space	Location	Preferred minimum solar access to be maintained
Kananook Creek	Eastern edge (Refer <b>Diagram 22</b> ).	Between 10am and 2pm on 22 September.
Kananook Creek trail	All.	Between 10am and 2pm on 22 September.
Nepean Highway	Eastern and western footpaths south of Fletcher Road to the kerb line.	Between 10am and 2pm on 22 September.
Ebdale Street Reserve	All.	Between 10am and 2pm on 22 June.
Beach Street	Entire southern footpath to the kerb line.	Between 10am and 2pm on 22 September
O'Grady Reserve	All.	Between 10am and 2pm on 22 June.

**Diagram 22 Kananook Creek**



## FRANKSTON PLANNING SCHEME



### 5.5-4 Precinct guidelines

Encourage a mix of residential, retail and commercial uses throughout the Precinct.

Provide opportunities for engagement with the street through ground level occupation and the presence of habitable rooms and balconies at all levels. Inactive uses, such as laundries, garages and bathrooms, should be located away from street-facing facades where practicable.

Ensure that the internal area of buildings and any basements are designed to be protected from inundation from Kananook Creek in a 1% Annual Exceedance Probability flood event and under a 2100 sea level rise scenario.

Provide landscaping in landscaped setback areas as shown in the maps at clause 5.5-1 and as set out in Table 21.

On corner allotments, provide landscaped interfaces to both street frontages.

Screen basement or semi-basement parking from the street and Kananook Creek.

At grade car parking areas should be located away from street interfaces and not within front setbacks.

Incorporate landscaping in at grade parking areas to provide for visual amenity and shade.

Landscaping within front setbacks should complement the landscaping within the Nepean Boulevard road reserve.

Front fencing to Nepean Highway should provide for a level of visual permeability to allow for passive surveillance and views to vegetation.

Prioritise the retention of mature vegetation including large canopy trees.

Where there are a number of trees on the site, prioritise the retention of high value canopy trees over lower value canopy trees.

Design and site buildings at 383-389 Nepean Highway to minimise overshadowing to Evelyn Reserve.

Within Sub-Precinct 5A, site and design development to respect and respond to the sensitive residential, open space and Kananook Creek interface by:

- Maintaining and enhancing the natural landscape character of the creek corridor, in which the topography of the creek and its banks, and a naturalistic corridor of canopy trees, are the dominant features in public views of the creek and its setting.

## FRANKSTON PLANNING SCHEME

- Minimising the visual intrusion of new development when viewed from paths, bridge crossings and public open space
- Ensuring that all building elevations, materials, colours and finishes complement Kananook Creek, its landscape and environmental character.
- Providing space between buildings to minimise the visual impact of buildings and allowing views to Kananook Creek and its vegetated corridor.
- Setting development back from the creek edge to protect the landscape, topography and vegetation as the dominant visual elements.
- Ensuring public views of new development are filtered through vegetation and trees.
- Using external materials, visible from Kananook Creek, that complement the landscape setting and be softened with indigenous screen planting where practical.

### 5.5-5 Any other requirements

None specified.

## 5.6 Precinct 6 – Cranbourne Road

### 5.6-1 Precinct map



### 5.6-2 Precinct objectives

To encourage built form along Cranbourne Road that is responsive to its role as an entry to the Frankston MAC.

To provide for a range of commercial and residential uses that complement the mixed-use and commercial function of the precinct.

**FRANKSTON PLANNING SCHEME**

To encourage the use of land for offices along Cranbourne Road, increased housing densities on upper levels and the integration of health and education uses as part of mixed use development.

To provide landscaping and canopy trees within landscaped setbacks as shown in the map at clause 5.6-1 that contribute to a high amenity entry experience into the Frankston MAC.

**5.6-3 Precinct requirements****Table 23 - Building and street wall height**

Sub-precinct	Preferred maximum building height	Preferred maximum street wall heights
6A	22.0m (6 storeys)	12.0m (3 storeys)
6B	16.0m (4 storeys)	

**Table 24 - Building setbacks**

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
6A	Minimum 3.0m to all streets.	5.0m upper-level setback for development above 12.0m
6B	Minimum 4.5m from the rear boundary to provide for landscaping. Side setbacks to provide for visual breaks between buildings and landscaping.	

**5.6-4 Precinct guidelines**

Direct residential and other uses that do not provide an active frontages to upper levels of buildings. Design front fencing to Cranbourne Road to provide for a level of visual permeability and allow for passive surveillance and views to vegetation.

Encourage the retention of mature vegetation including large canopy trees.

Where there are a number of trees on the site, prioritise the retention of high value canopy trees over lower value canopy trees.

Provide landscaping in landscaped setback areas as shown in the map at clause 5.6-1 and as set out in Table 24.

On corner allotments, provide landscaped interfaces to both street frontages.

Buildings should maximise solar access by orientating buildings and associated open space areas to the north, where possible.

Projections such as architectural elements, balconies and building services should not intrude into side building setbacks.

Provide vehicle access from Olive Grove, Willis Street, Joy Street and James Street, Catherine Parade, Melvin Street, Allenby Street, Lawrey Street and Clarendon Street rather than from Cranbourne Road where possible.

Screen basement or semi-basement parking from the street.

Locate at grade car parking areas away from street interfaces and not within front setbacks.

Incorporate landscaping in at grade car parking areas to provide for visual amenity and shade.

## FRANKSTON PLANNING SCHEME

### 5.6-5 Any other requirements

None specified.

### 6.0 Application requirements

11/04/2025  
C160fran

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

#### General

- A traffic and parking assessment report, prepared by a suitably qualified person justifying the car parking provision, layout and access arrangements for the proposal. The report must also include how the proposal will mitigate detrimental traffic impacts on the capacity and safe and efficient operation of the surrounding street network including laneways.
- A description of any current and previous land use with potential for contamination, and any known contamination investigations, or other relevant environmental assessments undertaken for the site.

#### Buildings and works

- An acoustic assessment of the development, prepared by a suitably qualified person, detailing how noise impacts to residential uses from within the development and from surrounding uses and development including road and rail noise will be mitigated.
- A waste management plan detailing how waste will be dealt with on-site including details relating to how:
  - Food and garden organics, recyclables, glass and residual waste will be stored and disposed of from the site.
  - Waste storage will be consolidated on-site to avoid bins for each individual tenancy particularly in large developments.
  - The development will avoid detrimental impacts to surrounding properties through the collection of waste receptacles.
  - Waste management for the development is consistent with *Waste Management Guidelines for Multi-Unit Developments*(SALT, 2017).
- A 3D digital model of the development and its surrounds that is compatible with Council's software.
- In Precincts 2, 3, 4, 5 and 6 an arboriculture assessment of all vegetation on the site and directly adjoining properties (within 5.0m of the common boundaries) including recommendations to protect vegetation to be retained for both the on-site and adjoining properties, from any detrimental effects of the development and its construction.
- For buildings of 5 or more stories, a wind report by a suitably qualified person detailing how the development mitigates wind impacts from the development and the environment to protect the safety and comfort of building occupants and people in the public realm.
- For development in Precincts 4 and 5, a report prepared by a suitably qualified person on the potential for acid sulfate soils and any management recommendations having regard to:
  - The condition of the soil on the site and the directly abutting area.
  - How the development will mitigate detrimental impacts to any acid sulfate soils.

## FRANKSTON PLANNING SCHEME

- How the development will protect itself from any adverse effects from the soils and ground conditions.
- How the development accords with the *Victorian Coastal Acid Sulfate Soils Strategy 2009*.
- For buildings of 4 or more storeys, a reflected glare assessment including:
  - The applied method used for the reflected glare assessment.
  - Any assessment assumptions.
  - Identification of potential observers receiving glare.
  - Review of materials, finishes and reflectors.
  - Assessment of the proposed development's disability and discomfort glare.
  - Mitigation measures for reflected glare.

### 7.0

11/04/2025  
C160frn

#### Notice and review

None specified.

### 8.0

11/04/2025  
C160frn

#### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme to use land or construct a building or construct or carry out works which must be considered, as appropriate, by the responsible authority:

- How the proposed development's design, architectural quality, scale, height, materials, mass and visual bulk responds to the requirements and guidelines of this schedule and to the surrounding built form.
- How the development respects the visual and environmental qualities of the Foreshore and Kananook Creek and environs.
- The effect of the development on the amenity of nearby properties and the public realm, particularly in regard to visual impacts, overlooking and overshadowing.
- How the proposal contributes to or improves the pedestrian environment and other areas of the public realm.
- How potential on and off-site amenity impacts have been mitigated through measures including the design, location and siting of the proposed development.
- Whether the proposal provides housing for diversity of housing outcomes.

### 9.0

11/04/2025  
C160frn

#### Signs

None specified.

### 10.0

11/04/2025  
C160frn

#### Other provisions of the scheme

None specified.

### 11.0

11/04/2025  
C160frn

#### Reference documents

*Frankston Metropolitan Activity Centre Structure Plan* (Tract Consultants, September 2024).

FRANKSTON PLANNING SCHEME

23/05/2019  
C133frn

**SCHEDULE 4 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO4**.

**LANGWARRIN RURAL RESIDENTIAL AREA**

**1.0**

19/01/2006  
VC37

**Design objectives**

To maintain and enhance the well vegetated, rural residential character of land around the fringe of Langwarrin in recognition of its contribution to housing diversity and its landscape quality.

To ensure that development densities are consistent with the landscape character of the area.

To ensure that new development responds to established and preferred landscape character and built form in terms of building height, scale and siting.

To protect water quality, particularly in the Western Port catchment.

**2.0**

13/10/2016  
C442 Proposed C167frn

**Buildings and works**

A permit is not required to construct a building or carry out works for:

- Navigational aids.
- A radio mast.
- A television antenna.
- A television mast associated with a building.
- The development of public land by or on behalf of a public land manager.
- A single dwelling, dependent persons unit or ancillary outbuildings, provided the following are met:
  - Buildings are setback at least 20 metres from any road frontage and 10 metres from any other boundary.
  - Any building does not exceed 7 metres in height.
  - The total floor area of all outbuildings does not exceed 100 square metres.
  - There is only one dwelling on the lot or one dwelling and a dependent person's unit. This cannot be varied with a permit.
  - The external finishes of all buildings are of muted natural colours and tones that are consistent with the surrounding landscape.
- Earthworks which involve the receipt, importation, stockpiling or placement of less than 100 cubic metres of fill.
- Earthworks which do not change the rate of flow or the discharge point of water across a property boundary.
- Earthworks which do not increase the discharge of saline groundwater.

Any buildings or works must not exceed 9 metres in height unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the height must not exceed 10 metres. This cannot be varied with a permit.

**3.0**

19/01/2006  
VC37

**Subdivision**

Any lot in a subdivision must be at least 1 hectare and all lots must be large enough to cater for year round on-site waste disposal.

Any subdivision proposal must be supported by information that demonstrates that year round disposal of effluent can be achieved within the lot boundaries.

## FRANKSTON PLANNING SCHEME

Smaller lots may be created if required for public use by a government department, public authority or Council.

These requirements cannot be varied with a permit.

### 4.0

23/05/2019  
C133fran

#### Signs

None specified.

### 5.0

23/05/2019  
C133fran

#### Application requirements

None specified.

### 6.0

23/05/2019  
C133fran

#### Decision guidelines

Before deciding on an application the responsible authority must consider:

- The appropriateness of the subdivision, buildings or works having regard to the Preferred Neighbourhood Character statement for the area, and land capability, including land form, slope, drainage and the presence of remnant vegetation.
- The impact of the subdivision, building or works on the landscape quality of the area.
- The extent to which the proposed development meets the objectives and design responses contained in the relevant Neighbourhood Character Study Character Statement precinct brochure for the area.

Before deciding on an application for development that exceeds 7 metres in height, the responsible authority must consider whether the additional height is justified due to the need for a particular roof form or architectural feature that assists in achieving the preferred neighbourhood character of the area, or the objectives and design responses contained in the relevant Neighbourhood Character Study Character Statement precinct brochure for the area.

FRANKSTON PLANNING SCHEME

23/05/2019  
C133fran

**SCHEDULE 5 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY**

Shown on the planning scheme map as SLO5.

**FORMER G.K. TUCKER BROTHERHOOD OF ST. LAURENCE SETTLEMENT**

**1.0**

**Statement of nature and key elements of landscape**

30/05/2024  
G452fran Proposed C167fran

The site commonly known as the G.K. Tucker Brotherhood of St. Laurence Settlement contains a mixture of remnant indigenous vegetation and mature exotic trees and shrubs which make a significant contribution to the landscape quality and character of this area.

Areas of remnant indigenous vegetation have been identified on the site, this vegetation has environmental significance including providing habitat for indigenous fauna.

This land was established as low cost housing in the early 20th century by Gerard Kennedy Tucker founder of the Brotherhood of St. Lawrence. Trees that were planted as part of this development remain on the site today. These planted trees provide links to the former use of the site and as such are of historical landscape significance.

**2.0**

**Landscape character objectives to be achieved**

30/05/2024  
C152fran

- To protect vegetation in the area with intrinsic landscape and historical or environmental values.
- To conserve and enhance remnant indigenous vegetation in the area.
- To ensure that development responds to and maintains the landscape quality of the GK Tucker Brotherhood of St. Laurence Settlement.

**3.0**

**Permit requirement**

19/10/2017  
C100

A permit is required:

- To remove, destroy or lop vegetation that is listed in Table 1 to this schedule.
- For buildings and works within the tree protection zone of any tree that is listed in Table 1 to this schedule.

A permit is not required:

- For buildings and works outside the tree protection zone of any tree listed in Table 1 to this schedule.
- To prune or lop limbs less than 75mm in diameter and not more than a total of 10% of the canopy of any significant tree listed in the table to this schedule for:
  - maintaining access to existing roads, driveways and footpaths;
  - clearing within two metres of an existing permanent structure;
  - maintaining of an existing specialised pruning method such as hedging, espalier or topiary;
  - reducing overhang to neighbouring properties.
- To remove dead and broken limbs.

All pruning works must be carried out in accordance with Australian Standard AS4373-2009 Pruning of Amenity Trees.

Before deciding on an application to remove, destroy, prune or lop any specified tree or area of vegetation, the responsible authority may require the applicant to provide a report prepared by a qualified arborist, ecologist, or botanist on the reason and need for the proposed work, options for alternative treatments and any remedial or restorative action proposed.



## FRANKSTON PLANNING SCHEME

## 4.0

23/05/2019  
C133fran

## Application requirements

None specified.

## 5.0

23/05/2019  
C133fran

## Decision guidelines

Before deciding on an application to construct a building; construct or carry out works; or remove, destroy or lop any vegetation the responsible authority must consider:

- Whether the proposal has minimised any negative impacts on the valued landscape of the area.
- The reasons for removing any vegetation and the practicality of any alternative options which do not require removal of native vegetation in accordance with the Native Vegetation Framework.

Table 1 to Schedule 5

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Road reserve/ lot 42/ 43	2	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Lot 1	23	<i>Eucalyptus radiata subsp. radiata</i>	5.57	Zone Map 2
Lot 3/Lot 4	29	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.37	Zone Map 2
Lot 23/Road Reserve	36	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.27	Zone Map 2
Lot 27	68	<i>Corymbia maculata</i>	6.00	Zone Map 2
Lot 40/Lot 41	80	<i>Corymbia maculata</i>	6.00	Zone Map 2
Lot 40/Lot 41	82	<i>Angophora costata</i>	7.20	Zone Map 2
Lot 41	83	<i>Angophora costata</i>	6.00	Zone Map 2
Lot 39/Lot 40/Lot 41	85	<i>Angophora costata</i>	6.00	Zone Map 2
Reserve No. 2	121	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	122	<i>Eucalyptus camaldulensis</i>	7.02	Zone Map 2
Reserve No. 2	123	<i>Eucalyptus camaldulensis</i>	7.21	Zone Map 2
Reserve No. 2	124	<i>Eucalyptus camaldulensis</i>	1.44	Zone Map 2
Reserve No. 2	125	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	126	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 2	127	<i>Eucalyptus camaldulensis</i>	1.44	Zone Map 2
Reserve No. 2	128	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 2	129	<i>Eucalyptus camaldulensis</i>	5.40	Zone Map 2
Reserve No. 2	130	<i>Eucalyptus camaldulensis</i>	2.16	Zone Map 2
Reserve No. 2	131	<i>Eucalyptus camaldulensis</i>	4.80	Zone Map 2
Reserve No. 2	132	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 2	133	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	134	<i>Eucalyptus ovata</i>	4.80	Zone Map 2

## FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 2	135	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.04	Zone Map 2
Reserve No. 2	136	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 2	137	<i>Eucalyptus camaldulensis</i>	9.35	Zone Map 2
Reserve No. 2	138	<i>Eucalyptus camuldulensis</i>	2.40	Zone Map 2
Reserve No. 2	139	<i>Eucalyptus camuldulensis</i>	6.00	Zone Map 2
Reserve No. 2	140	<i>Eucalyptus camuldulensis</i>	7.02	Zone Map 2
Reserve No. 2	141	<i>Eucalyptus camuldulensis</i>	9.54	Zone Map 2
Reserve No. 2	142	<i>Eucalyptus camuldulensis</i>	4.80	Zone Map 2
Reserve No. 2	143	<i>Eucalyptus camuldulensis</i>	6.00	Zone Map 2
Reserve No. 2	144	<i>Eucalyptus camuldulensis</i>	8.78	Zone Map 2
Reserve No. 2	145	<i>Eucalyptus camuldulensis</i>	3.00	Zone Map 2
Reserve No. 2	146	<i>Eucalyptus camuldulensis</i>	5.40	Zone Map 2
Reserve No. 2	147	<i>Eucalyptus camuldulensis</i>	7.56	Zone Map 2
Reserve No. 2	148	<i>Eucalyptus camuldulensis</i>	3.00	Zone Map 2
Reserve No. 2	149	<i>Eucalyptus</i>	4.80	Zone Map 2
Reserve No. 2	150	<i>Eucalyptus camuldulensis</i>	2.16	Zone Map 2
Reserve No. 2	152	<i>Eucalyptus camuldulensis</i>	5.34	Zone Map 2
Reserve No. 2	153	<i>Eucalyptus camuldulensis</i>	7.82	Zone Map 2
Reserve No. 2	154	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.34	Zone Map 2
Reserve No. 2	155	<i>Eucalyptus camuldulensis</i>	2.64	Zone Map 2
Lot 52/ Reserve No. 3	161	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 3	163	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Lot 55/Lot 56	167	<i>Eucalyptus camuldulensis</i>	4.20	Zone Map 2
Reserve No. 3	169	<i>Eucalyptus camuldulensis</i>	0.84	Zone Map 2
Road Reserve	188	<i>Corymbia maculata</i>	6.00	Zone Map 2
Reserve No. 3	190	<i>Eucalyptus ovata</i>	6.68	Zone Map 2
Reserve No. 3	191	<i>Eucalyptus ovata</i>	1.80	Zone Map 2
Reserve No.3/ Lot 134	192	<i>Eucalyptus ovata</i>	8.28	Zone Map 2
Reserve No. 3	193	<i>Eucalyptus ovata</i>	8.98	Zone Map 2
Reserve No. 3	196	<i>Eucalyptus ovata</i>	7.82	Zone Map 2
Reserve No. 3	198	<i>Acmena smithii</i>	3.60	Zone Map 2
Reserve No. 3	200	<i>Eucalyptus</i>	2.64	Zone Map 2
Lot 130	202	<i>Liquidamber styraciflua</i>	1.20	Zone Map 2
Reserve No. 3	203	<i>Callistemon</i>	1.80	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 3	205	<i>Sequoiadendron giganteum</i>	3.60	Zone Map 2
Lot 130/Lot 131	206	<i>Photinia glabra</i> 'Rubens'	2.76	Zone Map 2
Road Reserve/ Reserve No. 3	219	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 3	220	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	221	<i>Eucalyptus ovata</i>	1.32	Zone Map 2
Reserve No. 3	222	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	223	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	224	<i>Eucalyptus ovata</i>	0.96	Zone Map 2
Reserve No. 4	225	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 4	227	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	7.37	Zone Map 2
Reserve No. 4	228	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	229	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	230	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	5.40	Zone Map 2
Reserve No. 3	231	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 3	232	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 3	233	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 3/ Road Reserve	234	<i>Allocasuarina cunninghamiana</i>	6.00	Zone Map 2
Reserve No. 3	235	<i>Eucalyptus ovata</i>	1.44	Zone Map 2
Reserve No. 3	236	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 4	237	<i>Eucalyptus ovata</i>	3.24	Zone Map 2
Reserve No. 4/ Road Reserve	243	<i>Acacia melanoxylon</i>	1.80	Zone Map 2
Reserve No. 4/ Road Reserve	244	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	245	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 4	247	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	248	<i>Eucalyptus ovata</i>	3.84	Zone Map 2
Reserve No. 4	249	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	250	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	251	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 4	252	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	6.49	Zone Map 2

## FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4	253	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	254	<i>Eucalyptus ovata</i>	5.40	Zone Map 2
Reserve No. 4	255	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	256	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4	258	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	259	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	260	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	261	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	263	<i>Exocarpos cupressiformis</i>	0.72	Zone Map 2
Reserve No. 4	264	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.60	Zone Map 2
Reserve No. 3	265	<i>Eucalyptus ovata Stump</i>	1.20	Zone Map 2
Reserve No. 4	266	<i>Eucalyptus viminalis subsp. Pryoriana</i>	2.64	Zone Map 2
Reserve No. 4	267	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	268	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4	269	<i>Eucalyptus viminalis subsp. pryoriana</i>	9.60	Zone Map 2
Reserve No. 4	270	<i>Eucalyptus viminalis subsp. pryoriana</i>	8.63	Zone Map 2
Reserve No. 4	271	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.79	Zone Map 2
Reserve No. 4	272	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.95	Zone Map 2
Reserve No. 4	274	<i>Eucalyptus ovata</i>	1.20	Zone Map 2
Reserve No. 4	275	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	276	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	277	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.02	Zone Map 2
Reserve No. 4	279	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	280	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4	283	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.91	Zone Map 2
Reserve No. 4	284	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.53	Zone Map 2
Reserve No. 4	285	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	286	<i>Eucalyptus viminalis subsp. pryoriana</i>	0.96	Zone Map 2
Reserve No. 4	288	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.79	Zone Map 2
Reserve No. 3	290	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.40	Zone Map 2
Reserve No. 3/ Lot A	291	<i>Eucalyptus camuldulensis</i>	3.60	Zone Map 2
Reserve No. 3/ Lot A	292	<i>Eucalyptus lehmannii</i>	9.60	Zone Map 2
Reserve No. 3	293	<i>Eucalyptus</i>	0.72	Zone Map 2
Lot A	294	<i>Eucalyptus camaldulensis</i>	2.64	Zone Map 2
Lot A	295	<i>Allocasuarina cunninghamiana</i>	0.60	Zone Map 2
Lot A	296	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Lot A	297	<i>Eucalyptus cladocalyx</i>	2.64	Zone Map 2
Lot A/ Road Reserve	298	<i>Eucalyptus lehmannii</i>	2.40	Zone Map 2
Road Reserve/Lot A/Lot26	299	<i>Eucalyptus lehmannii</i>	9.60	Zone Map 2
Road Reserve/Lot A/Lot26	300	<i>Eucalyptus lehmannii</i>	0.72	Zone Map 2
Road Reserve/Lot A	301	<i>Melaleuca armillaris</i>	10.80	Zone Map 2
Road Reserve	302	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.64	Zone Map 2
Road Reserve/Lot A	303	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Lot A/Road Reserve	304	<i>Eucalyptus lehmannii</i>	1.32	Zone Map 2
Road Reserve/Lot A	305	<i>Eucalyptus camuldulensis</i>	3.60	Zone Map 2
Lot A/Road Reserve	306	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Road Reserve	307	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.64	Zone Map 2
Road Reserve	308	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	
Lot A	309	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.63	Zone Map 2
Reserve No. 4/Road	310	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2

## FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4/Road	312	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4/Road	313	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.2	Zone Map 2
Reserve No. 4/Road	315	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	316	<i>Allocasuarina cunninghamiana</i>	0.96	Zone Map 2
Reserve No. 4	317	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.00	Zone Map 2
Reserve No. 4	318	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4/Road	319	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4/Road	321	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.14	Zone Map 2
Reserve No. 4/Road	323	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.56	Zone Map 2
Reserve No. 4	325	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	328	<i>Eucalyptus viminalis subsp. pryoriana</i>	5.40	Zone Map 2
Lot 61/Lot 62	338	<i>Liquidambar styraciflua</i>	2.64	Zone Map 2
Reserve No. 4	345	<i>Eucalyptus ovata</i>	4.20	Zone Map 2
Lot 110/Lot 111	347	<i>Banksia marginata</i>	1.2	Zone Map 2
Lot 110	349	<i>Banksia marginata</i>	1.20	Zone Map 2
Lot 109	350	<i>Banksia marginata</i>	1.20	Zone Map 2
Road Reserve	351	<i>Banksia marginata</i>	0.96	Zone Map 2
Road Reserve	352	<i>Banksia marginata</i>	1.44	Zone Map 2
Lot 117/Lot 118	359	<i>Corymbia citriodora</i>	3.00	Zone Map 2
Lot 123/Lot 124	379	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 123	380	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 123	381	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 124	384	<i>Eucalyptus camuldulensis</i>	1.44	Zone Map 2
Lot 176/Reserve No. 5	395	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Reserve No. 5	396	<i>Banksia marginata</i>	4.20	Zone Map 2
Reserve No. 5	398	<i>Acmena smithii</i>	3.00	Zone Map 2
Reserve No. 5	402	<i>Cedrus libani</i>	9.60	Zone Map 2
Reserve No. 5	405	<i>Acmena smithii</i>	3.60	Zone Map 2
Reserve No. 5	408	<i>Angophora costata</i>	6.00	Zone Map 2
Reserve No. 5	412	<i>Agonis flexuosa</i>	7.20	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 5	413	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Reserve No. 5	415	<i>Agonis flexuosa</i>	12.00	Zone Map 2
Reserve No. 5/Road Reserve	418	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Reserve No. 5/Road Reserve	421	<i>Cedrus libani</i>	8.40	Zone Map 2
Lot 141/ Lot 142	422	<i>Corymbia citriodora</i>	2.76	Zone Map 2
Lot 141/ Lot 142	423	<i>Corymbia ficifolia</i>	14.40	Zone Map 2
Lot 139/Lot 140	435	<i>Grevillea robusta</i>	6.00	Zone Map 2
Lot 139/Lot 140/Road Reserve	436	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 140	437	<i>Photinia glabra</i> 'Rubens'	0.72	Zone Map 2
Reserve No. 5/Road Reserve	438	<i>Agonis flecuosa</i>	8.40	Zone Map 2
Reserve No. 5/Road Reserve	439	<i>Acmena smithii</i>	2.76	Zone Map 2
Lot 132/Lot 133	443	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Lot 132/Lot 133	444	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Lot 132/Lot 133	446	<i>Acmena smithii</i>	4.20	Zone Map 2
Lot 133	447	<i>Jacaranda mimosifolia</i>	3.00	Zone Map 2
Lot 133/Road Reserve	449	<i>Eriobotrya japonica</i>	1.20	Zone Map 2
Lot 136/Lot 137	455	<i>Leptospermum laevigatum</i>	2.40	Zone Map 2
Lot 136	456	<i>Arbutus unedo</i>	3.00	Zone Map 2
Lot 135/Lot 136	457	<i>Acmena smithii</i>	3.60	Zone Map 2
Lot 135/Lot 136	458	<i>Acmena smithii</i>	2.76	Zone Map 2
Lot 129/Lot 130	461	<i>Photinia glabra</i> 'Rubens'	0.84	Zone Map 2
Lot 126	463	<i>Ginkgo biloba</i>	1.56	Zone Map 2
Lot 125/ Lot 133	467	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 125/ Lot 133	468	<i>Acmena smithii</i>	3.00	Zone Map 2
Reserve No. 5	479	<i>Araucaria heterophylla</i>	4.80	Zone Map 2
Reserve No. 5	480	<i>Brachychiton acerifolia</i>	3.00	Zone Map 2
Reserve No. 5	486	<i>Magnolia grandiflora</i>	6.00	Zone Map 2
Reserve No. 5/ Lot 177	488	<i>Araucaria heterophylla</i>	7.20	Zone Map 2
Reserve No. 5	489	<i>Brachychiton acerifolia</i>	4.80	Zone Map 2
Reserve No. 5	491	<i>Araucaria heterophylla</i>	6.00	Zone Map 2
Reserve No. 5	492	<i>Lophostemon conferta</i>	4.80	Zone Map 2
Reserve No. 5	493	<i>Quercus robur</i>	10.80	Zone Map 2

## FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 5	494	<i>Lophostemon conferta</i>	5.40	Zone Map 2
Lot 97/Lot 98	499	<i>Corymbia ficifolia</i>	7.20	Zone Map 2
Road Reserve Lot 101	507	<i>Acmena smithii</i>	2.40	Zone Map 2
Lot 100	510	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 100	511	<i>Grevillea robusta</i>	4.80	Zone Map 2
Lot 104/Road Reserve	515	<i>Jacaranda mimosifolia</i>	4.80	Zone Map 2
Lot 106	524	<i>Quercus robur</i>	3.60	Zone Map 2
Lot 106	525	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Lot 67/Lot 68	531	<i>Corymbia ficifolia</i>	5.00	Zone Map 2
Lot 65/Lot 66	535	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Road Reserve	537	<i>Corymbia</i>	4.20	Zone Map 2
Road Reserve	538	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	539	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	542	<i>Banksia marginata</i>	2.64	Zone Map 2
Road Reserve	543	<i>Corymbia ficifolia</i>	0.96	Zone Map 2
Reserve No. 6/Lot 72	544	<i>Eucalyptus leucoxylon</i> Rosea	3.60	Zone Map 2
Reserve No. 6/ Lot 72	545	<i>Angophora costata</i>	4.80	Zone Map 2
Reserve No. 6/Lot 72	546	<i>Banksia marginata</i>	4.20	Zone Map 2
Lot 73/Road Reserve	548	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Road Reserve	549	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 73/Lot 74/Road Reserve	550	<i>Grevillea robusta</i>	3.00	Zone Map 2
Road Reserve	553	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	554	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	555	<i>Eucalyptus cladocalyx</i>	3.60	Zone Map 2
Lot 77/Lot 78/Road Reserve	564	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Road Reserve/Lot 77	565	<i>Eucalyptus cladocalyx</i>	3.00	Zone Map 2
Lot 79/Lot 89	568	<i>Photinia glabra</i> 'Rubens'	2.40	Zone Map 2
Lot 91/Lot 92	571	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 210/Road Reserve	573	<i>Acmena smithii</i>	3.24	Zone Map 2
Road Reserve	574	<i>Eucalyptus maculata</i>	8.00	Zone Map 2
Lot 205/Lot 206	579	<i>Arbutus unedo</i>	2.64	Zone Map 2
Road Reserve/Lot 205/Lot 206	580	<i>Acmena smithii</i>	5.00	Zone Map 2



FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Lot 204/Lot205/Road Reserve	581	<i>Acmena smithii</i>	5.00	Zone Map 2
Reserve No. 6/Lot 96	586	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Reserve No. 6/Lot 73/Lot 96	587	<i>Populus deltoides</i>	9.60	Zone Map 2
Lot 82/Lot 83/ Lot 84	597	<i>Liquidambar Styraciflua</i>	7.20	
Lot 99/Lot 100/Lot 105	597a	<i>Liquidambar styraciflua</i>	7.20	Zone Map 2
Lot 82/Lot 83/Lot 84	600	<i>Quercus robur</i>	7.80	Zone Map 2
Lot 84/Lot 85/Lot 86	601	<i>Quercus robur</i>	3.84	Zone Map 2
Lot 85	602	<i>Quercus robur</i>	3.60	Zone Map 2
Lot 85	604	<i>Quercus robur</i>	3.00	Zone Map 2
Lot 217/ Lot 218	614	<i>Corymbia citriodora</i>	5.40	Zone Map 2
Lot 219	617	<i>Eucalyptus leucoxylon Rosea</i>	5.40	Zone Map 2
Lot 219	621	<i>Eucalyptus leucoxylon Rosea</i>	5.40	Zone Map 2
Lot 219/Road Reserve	622	<i>Eucalyptus viminalis subsp. pryoriana</i>	8.40	Zone Map 2
Lot 219	623	<i>Eucalyptus</i>	3.00	Zone Map 2
Lot 219	624	<i>Phoenix canariensis</i>	8.40	Zone Map 2
Lot 219	627	<i>Liquidambar styraciflua</i>	2.64	Zone Map 2
Lot 219	628	<i>Eucalyptus camuldulensis</i>	7.20	Zone Map 2
Lot 219/Road Reserve	630	<i>Eucalyptus camuldulensis</i>	6.00	Zone Map 2
Lot 219/ Lot 220/ Road Reserve	631	<i>Eucalyptus camuldulensis</i>	9.60	Zone Map 2
Lot 219/ Lot 220	632	<i>Eucalyptus camuldulensis</i>	4.80	Zone Map 2
Reserve No.7/ Road Reserve/Lot 231/CP No. 3	644	<i>Eucalyptus camuldulensis</i>	10.80	Zone Map 2
Reserve No. 8/Road Reserve/lot 226/CP No. 3	653	<i>Melaleuca armillaris</i>	4.20	Zone Map 2
Lot 226	656	<i>Melaleuca linarifolia</i>	2.40	Zone Map 2
Lot 226/Lot227/Road Reserve	659	<i>Melaleuca armillaris</i>	4.20	Zone Map 2
Lot 227/Road Reserve	660	<i>Melaleuca linarifolia</i>	3.00	Zone Map 2
Lot 227	661	<i>Melaleuca styphelioides</i>	2.64	Zone Map 2
CP No. 3	667	<i>Eucalyptus camaldulensis</i>	8.40	Zone Map 2
CP No. 3/lot 229/Lot 230	668	<i>Eucalyptus camaldulensis</i>	6.00	Zone Map 2
CP No. 3	669	<i>Eucalyptus camaldulensis</i>	2.40	Zone Map 2
Lot 163/Lot 187/Road Reserve	697	<i>Liquidambar styraciflua</i>	7.20	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Lot 163/Road Reserve	698	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 159/Lot 160/Road Reserve	701	<i>Grevillea robusta</i>	6.00	Zone Map 2
Lot 159/lot 160	702	<i>Grevillea robusta</i>	6.60	Zone Map 2
Lot 156/Cp No. 2	710	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Lot 155/Lot 156	711	<i>Liquidambar styraciflua</i>	4.80	Zone Map 2
Lot 151/Lot 152	715	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Lot 149/Lot 150	719	<i>Eriobotrya japonica</i>	1.80	Zone Map 2
Lot 151/Lot 152/Road Reserve	722	<i>Cupressus torulosa</i>	4.80	Zone Map 2
Lot 166/Lot 167	734	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 158/Lot 159	749	<i>Corymbia ficifolia</i>	3.0	Zone Map 2
Lot 158/Lot 159/CP No. 2 Road Reserve	750	<i>Corymbia ficifolia</i>	1.2	Zone Map 2
Lot 163	751	<i>Phoenix canariensis</i>	9.6	Zone Map 2
Lot 178/Road Reserve	763	<i>Angophora costata</i>	4.2	Zone Map 2
Lot 171/Road Reserve	765	<i>Prunus</i>	1.8	Zone Map 2

## FRANKSTON PLANNING SCHEME

23/05/2019  
C133fran

### SCHEDULE 6 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

Shown on the planning scheme map as SLO6.

#### FRANKSTON SOUTH – SWEETWATER CREEK FRINGE AREA

##### 1.0

23/05/2019  
C133fran

##### Statement of nature and key elements of landscape

The Municipal Planning Strategy and the Neighbourhood Character Study recognise the importance of the Sweetwater Creek as a landscape and environmental feature of the Frankston South area. The Frankston City Neighbourhood Character Study identifies the importance of vegetation and the relationship between the buildings and the landscape to the character of the broader areas beyond the creek. The area covered by this overlay has a character that is partly derived from the density of trees and other vegetation and the setting of residential development within these trees. It is intended that this area will have a character in which trees dominate the streetscapes and skyline. The use of native and indigenous vegetation is encouraged in order to complement and enhance the visual and environmental qualities of the area whilst also recognising the contribution of large deciduous trees to the area.

##### 2.0

23/05/2019  
C133fran

##### Landscape character objectives to be achieved

- To retain and encourage the planting and retention of trees in keeping with the preferred neighbourhood character of the Frankston South area.
- To ensure that development is sensitive to the presence and contribution of existing vegetation.
- To ensure that the health of existing trees is not jeopardised by new development.

##### 3.0

04/05/2017  
G443Proposed C167fran

##### Permit requirement

###### Buildings and Works

A permit is required to construct a front fence.

A permit is not required:

- To construct a building or construct or carry out works outside the Tree Protection Zone of any substantial tree. The Tree Protection Zone is defined as the area with a radius from the centre of the trunk 12 times the diameter of the trunk except where:
- The measured radius is less than 5 metres, in which case the radius must be 5 metres; or
- The measured radius is greater than 15 metres, in which case the radius must be 15 metres.

For the purposes of calculating the Tree Protection Zone, the diameter of the trunk is measured at 1.4 metres above the point where it meets natural ground level.

A substantial tree is defined as vegetation including indigenous and where appropriate, Australian native large old trees and trees with hollows that has a trunk circumference greater than 0.50 metres at 1.4 metres above the point where it meets natural ground level.

- To construct buildings where the total area of all buildings at ground level is less than 40 per cent of the site.

###### Vegetation removal

A permit is required to remove, destroy or lop any substantial tree except where:

- The vegetation is an environmental weed specified in Table 1 to this schedule.
- The pruning or lopping of limbs is less than one-third (1/3rd) of the crown of the tree.

*Note: Pruning of a tree is defined as removing branches (or occasionally roots) from a tree or plant using approved practices, to achieve a specified objective such as for regeneration or ornamental shaping.*

*Lopping is defined as the practice of cutting branches or stems between branch unions or internodes.*

## FRANKSTON PLANNING SCHEME

### 4.0

23/05/2019  
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### Application requirements

None specified.

### 5.0

23/05/2019  
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### Decision guidelines

Before deciding on an application, the responsible authority must consider, as appropriate:

- Demonstration of the avoidance hierarchy (avoid, minimise, mitigate principles) in relation to substantial trees on a site.
- The need to ensure new buildings and works, including driveways fit within the landscape.
- Whether the style and height of any front fence is consistent with existing fences, where fences are commonly provided in the street.
- The need for additional landscaping and screen planting to maintain the existing and preferred landscape qualities identified in the Neighbourhood Character Study.
- The extent to which the proposal maintains the vegetation dominated streetscapes and vistas.
- The guidelines and principles of Australian Standard 4970-2009 – Protection of Trees on Development Sites.

**Table 1: Major environmental weed species**

*Note: Generally, woody species (trees and shrubs) have been included on this list along with the most serious herbaceous species.*

	Species	Common name
	<i>Acacia baileyana</i>	Cootamundra Wattle
	<i>Acacia elata</i>	Cedar Wattle
	<i>Acacia floribunda</i>	White Sallow Wattle
	<i>Acacia longifolia subsp. longifolia</i>	Sallow Wattle
+	<i>Acacia longifolia subsp. sophorae</i>	Coastal Wattle
	<i>Agapanthus praecox ssp. orientalis</i>	Agapanthus
	<i>Asparagus asparagoides</i>	Bridal Creeper
	<i>Asparagus scandens</i>	Asparagus fern
C	<i>Calycotoma spinosa</i>	Spiny Broom
	<i>Buddleia dysophyllus</i>	Buddleia
C	<i>Chrysanthemoides monilifera ssp. monilifera</i>	Boneseed
C	<i>Cirsium vulgare</i>	Spear Thistle
	<i>Coprosma repens</i>	Mirror-bush
	<i>Coprosma robusta</i>	Large Coprosma
	<i>Cortaderia jubata/selloana</i>	Pampas Grass
	<i>Cotoneaster sp.</i>	Cotoneaster
C	<i>Crataegus monogyna</i>	Hawthorn
	<i>Crocosmia x crocosmiflora</i>	Montbretia
	<i>Cytisus palmensis</i>	Tree Lucerne
C	<i>Cytisus scoparius</i>	English Broom

## FRANKSTON PLANNING SCHEME

	Species	Common name
	<i>Delairea odorata</i>	Cape Ivy
	<i>Dipogon lignosus</i>	Dolichos Pea
C	<i>Echium plantagineum</i>	Paterson's Curse
	<i>Erica baccans</i>	Berry-flower Heath
	<i>Erica lusitanica</i>	Spanish Heath
C	<i>Foeniculum vulgare</i>	Fennel
	<i>Fraxinus angustifolia</i> ssp. <i>angustifolia</i>	Desert Ash
C	<i>Genista linifolia</i>	Flax-leaf Broom
C	<i>Genista monspessulana</i>	Montpellier Broom
	<i>Genista</i> (garden hybrid)	Garden Broom
	<i>Gladiolus tristis</i>	Evening-flower Gladiolus
	<i>Gladiolus undulatus</i>	Wild Gladiolus
	<i>Hakea salicifolia</i>	Willow-leaf Hakea
	<i>Hakea suaveolens</i>	Sweet Hakea
	<i>Hedera helix</i>	Ivy
	<i>Ipomoea indica</i>	Morning-glory
+	<i>Leptospermum laevigatum</i>	Coast Tea-tree
	<i>Leucanthemum vulgare</i>	Ox-eye Daisy
	<i>Ligustrum lucidum</i>	Large-leaf Privet
	<i>Lonicera japonica</i>	Japanese Honeysuckle
C	<i>Lycium ferocissimum</i>	African Box-thorn
	<i>Malus domestica</i>	Domestic Apple
P	<i>Marrubium vulgare</i>	Horehound
	<i>Melaleuca armillaris</i>	Bracelet Honey-myrtle
	<i>Myrsiphyllum scandens</i>	Asparagus
	<i>Olea europaea</i> ssp. <i>Africana</i>	African Olive
	<i>Paraserianthes lophantha</i> subsp. <i>lophantha</i>	Cape Wattle
	<i>Phytolacca octandra</i>	Ink Weed
	<i>Pinus pinaster</i>	Maritime Pine
	<i>Pinus radiata</i>	Monterey Pine
	<i>Pittosporum undulatum</i>	Sweet Pittosporum
	<i>Polygala myrtifolia</i>	Myrtle-leaf Milkwort
	<i>Prunus cerasifera</i>	Cherry Plum
	<i>Pyracantha angustifolia</i>	Narrow-leaf Firethorn
	<i>Pyracantha crenulata</i>	Firethorn
	<i>Rhamnus alaternus</i>	Italian Buckthorn
C	<i>Rosa rubiginosa</i>	Sweet Briar

FRANKSTON PLANNING SCHEME

	Species	Common name
C	<i>Rubus fruticosus</i>	Blackberry
	<i>Rumex sagitatus</i>	Climbing Dock
	<i>Salix spp.</i>	Willows
	<i>Senecio angulatus</i>	Climbing Groundsel
C	<i>Senecio jacobaea</i>	Ragwort
	<i>Solanum mauritianum</i>	Nightshade
	<i>Sollya heterophylla</i>	Bluebell Creeper
	<i>Tradescantia fluminensis</i>	Wandering Tradescantia
C	<i>Ulex europaeus</i>	Gorse
	<i>Vinca major</i>	Blue Periwinkle
	<i>Watsonia meriana</i> cv. 'Bulbillifera'	Bulbil Watsonia
	<i>Zantedeschia aethiopica</i>	White Arum Lily

+ Ecologically 'out-of-balance' indigenous species which are natural members of Coastal Complex, but which are weedy outside the coastal context.

C Denotes regionally controlled weeds under the Catchment and Land Protection Act 1994.

P Denotes regionally prohibited weeds under the Catchment and Land Protection Act 1994.

FRANKSTON PLANNING SCHEME

23/05/2019  
C133frn

**SCHEDULE 8 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO8**

**SWEETWATER CREEK FRANKSTON SOUTH – IMMEDIATE ENVIRONS**

**1.0**

16/01/2014  
C78

**Design objectives**

To maintain adequate space on a site to provide the opportunity for tree planting and landscaping to retain and enhance the character and environmental qualities of Sweetwater Creek and its environs.

To ensure that development is sensitive to the natural characteristics of Sweetwater Creek and its environs including slope, terrain and any existing vegetation.

To ensure that development and landscaping on lots with a direct abuttal to Sweetwater Creek is particularly sensitive to the creek and its environs, and is designed to minimise visual impact and bulk of buildings to enhance the natural characteristics of the creek and its environs.

To maintain adequate space on a site to allow for planting of vegetation and to aid in reducing stormwater runoff and minimise stormwater flows into Sweetwater Creek.

**2.0**

04/05/2017  
6443 Proposed C167frn

**Buildings and works**

A permit is not required to construct a building or construct or carry out works provided the following requirements are met:

- Buildings must be set back at least 7.5 metres from the road frontage or the average of the setback of dwellings on adjoining lots, whichever is lesser.
- Buildings, with the exception of a single storey carport, must be set back at least 2 metres from side and rear boundaries plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Construction of a carport may only occur to one side boundary of a site.
- Where a lot has a rear boundary abutting the Sweetwater Creek Reserve or Sweetwater Creek where no reserve exists, buildings and works must be set back at least 10 metres from the Sweetwater Creek Reserve or the rear property boundary where no reserve exists.
- Where a side boundary of a site adjoins Sweetwater Creek or Sweetwater Creek Reserve, all buildings and works must be set back a minimum of 3.0 metres from the Sweetwater Creek Reserve or Sweetwater Creek unless the minimum width of the block is greater than 25 metres in which case the side boundary setback must be a minimum of 5 metres.
- Sunblinds, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into these setbacks.
- Side and rear setbacks to Sweetwater Creek or Sweetwater Creek Reserve should predominantly be used for tree and understorey planting.
- Any building does not exceed 8.0 metres in height or up to 9 metres where the slope of the land exceeds 2.5 degrees.
- The area covered by buildings must not exceed 40% of the site.
- Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance ~~to the satisfaction of the Responsible Authority.~~

A permit is required for a domestic swimming pool that does not meet the above requirements.

FRANKSTON PLANNING SCHEME

**3.0**

23/05/2019  
C133fran

**Subdivision**

None specified.

**4.0**

23/05/2019  
C133fran

**Signs**

None specified.

**5.0**

23/05/2019  
C133fran

**Application requirements**

None specified.

**6.0**

23/05/2019  
C133fran

**Decision guidelines**

Before deciding on an application the responsible authority must consider:

- The visual impact of buildings and works when viewed from the creek or creek reserve.
- The impact of buildings and works on the landscape character of the area.
- The impact of buildings and works on stormwater flows.
- Whether compliance with the requirements of this schedule is achievable having regards to the size, shape, orientation and topography of the site.
- Whether a building design reflects the slope of the land in terms of stepping down the site.
- The external materials, colours and finishes of the proposed buildings and works.
- The effect of buildings and works on the neighbourhood character of the area.
- The adequacy of proposed landscaping in meeting the design objectives of this schedule.



FRANKSTON PLANNING SCHEME

29/11/2019  
GC127

SCHEDULE TO CLAUSE 45.12 SPECIFIC CONTROLS OVERLAY

1.0

Specific controls

21/03/2025  
66242 Proposed C167fran

PS Map Ref	Name of incorporated document
SCO1	Woolworths Oxygen, Carrum Downs (February 2011).
<del>SCO2</del>	<del>Kristen Close, Frankston South (February 2011).</del>
SCO3	Hospital Emergency Medical Services - Helicopter Flight Path Protection Areas Incorporated Document (Victorian Health Building Authority, October 2024)
SCO4	Golf Links Road and Grant Road (Peninsula Link to Frankston-Flinders Road) Upgrade Project Incorporated Document, November 2019
SCO5	Lathams Road (Oliphant Way to Frankston-Dandenong Road) Upgrade Project Incorporated Document, April 2019
SCO6	Balmoral Offices, 12 Balmoral Walk, Frankston – September 2021
SCO7	Hall Road (McCormicks Road to Cranbourne-Frankston Road) Upgrade Project Incorporated Document, August 2021
SCO8	Western Port Highway Upgrade Incorporated Document, August 2021
SCO9	Frankston Hospital Emergency Helicopter Flight Path Protection Incorporated Document (Department of Transport and Planning, October 2024)

FRANKSTON PLANNING SCHEME

23/05/2019  
C133fran

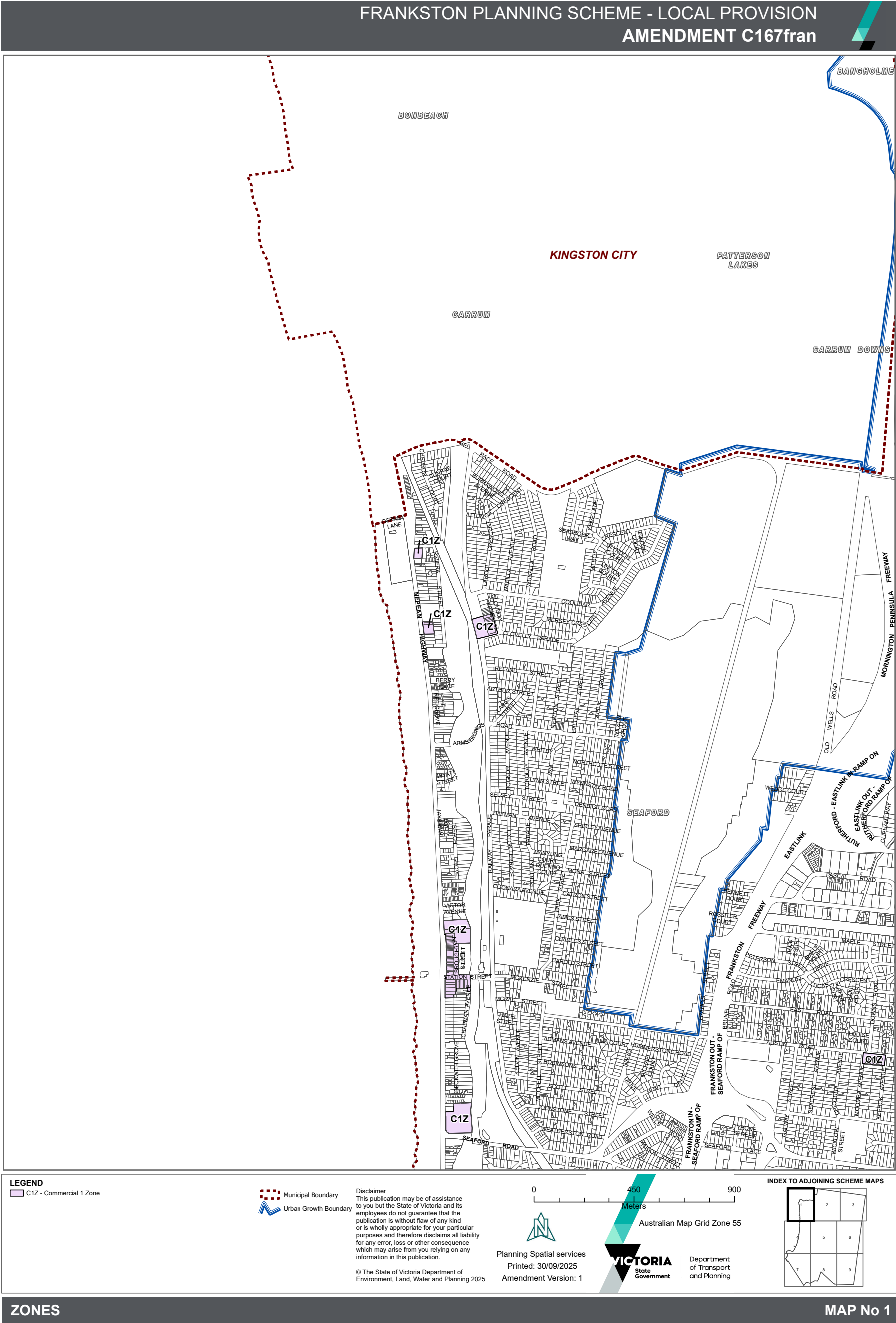
SCHEDULE TO CLAUSE 51.01 SPECIFIC SITES AND EXCLUSIONS

1.0

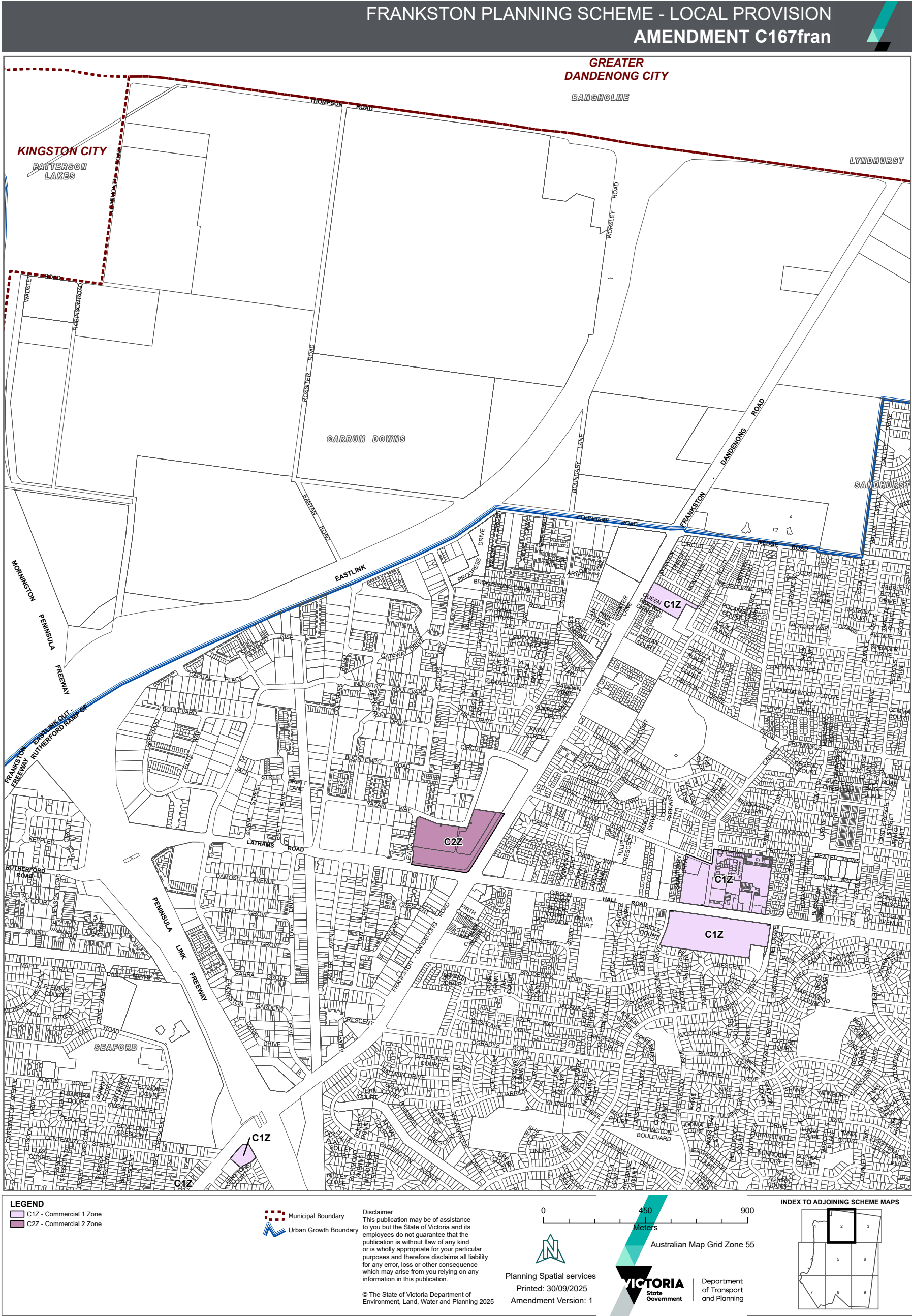
Specific sites and exclusions

25/02/2020  
C435franProposed C167fran

Address of land	Title of incorporated document
Land Generally bound by Cranbourne Road (Nos. 85-115), Bryan Street (Nos. 2-22), Dean Street (Nos. 2-40), Gertrude Street (Nos. 2-8 & 27-37) and all properties fronting Hazel Grove, Glennis Street, Clifford Street and Stewart Street Frankston, known as Frankston Bulky Goods Precinct – Stage 2.	<i>Frankston Bulky Goods Precinct – Stage 2</i> (August 2006).
Peninsula Link between Thompson Road, Carrum Downs and Golf Links Road, Frankston South, and part of the land at 240 -300 McClelland Drive, Langwarrin (Vol 09023 Fol 101, Vol 09023 Fol 102, Vol 09023 Fol 100)	<i>Peninsula Link Project, Incorporated Document, July 2009</i> (amended June 2011).
Land at Whitecliffe Avenue, Frankston South being: Part Lot 8 LP4780, lots 11, 12, 18, 20, - 23 LP5686, Lot 3 LP25521, lot 2 LP58175, lots 1 - 5 LP63380, lots 1 - 3 TP184872 & PC357028. <del>Land at Clyde Court, Frankston South being:</del> <del>Lot 1 TP254181M (two parts separately transferable), lot 1 TP665251A &amp; lot 1 TP023790A.</del>	<i>Olivers Hill Lot Restructuring Plan</i> (December 2010).
Land at 7R Playne Street, Frankston (known as Lot 3, Plan of Subdivision no. PS705612N).	<i>South East Water Corporation Head Office, Frankston</i> (February 2013).
Land required for the Skye/Overton Road, Frankston Level Crossing Removal Project as shown on the project area maps in the incorporated document.	<i>Skye/Overton Road, Frankston Level Crossing Removal Project Incorporated Document</i> (May 2017).
Land required for the Kananook Train Storage Facility Project as shown on the project area maps in the Incorporated Document	<i>Kananook Train Storage Facility Project Incorporated Document</i> (July 2017)
Land required for the Seaford Road, Seaford Level Crossing Removal Project as shown on the project area maps in the Incorporated Document.	<i>Seaford Road, Seaford Level Crossing Removal Project Incorporated Document, December 2017</i> (Amended February 2018)
Land required for the Carrum Level Crossing Removal Project as shown on the project area maps in the Incorporated Document.	<i>Carrum Level Crossing Removal Project Incorporated Document, December 2017</i> (Amended February 2018)
Land required for the improve Frankston Station project as shown on the project land map in the Incorporated Document	<i>Improve Frankston Station Project, Incorporated Document</i> (February 2018)



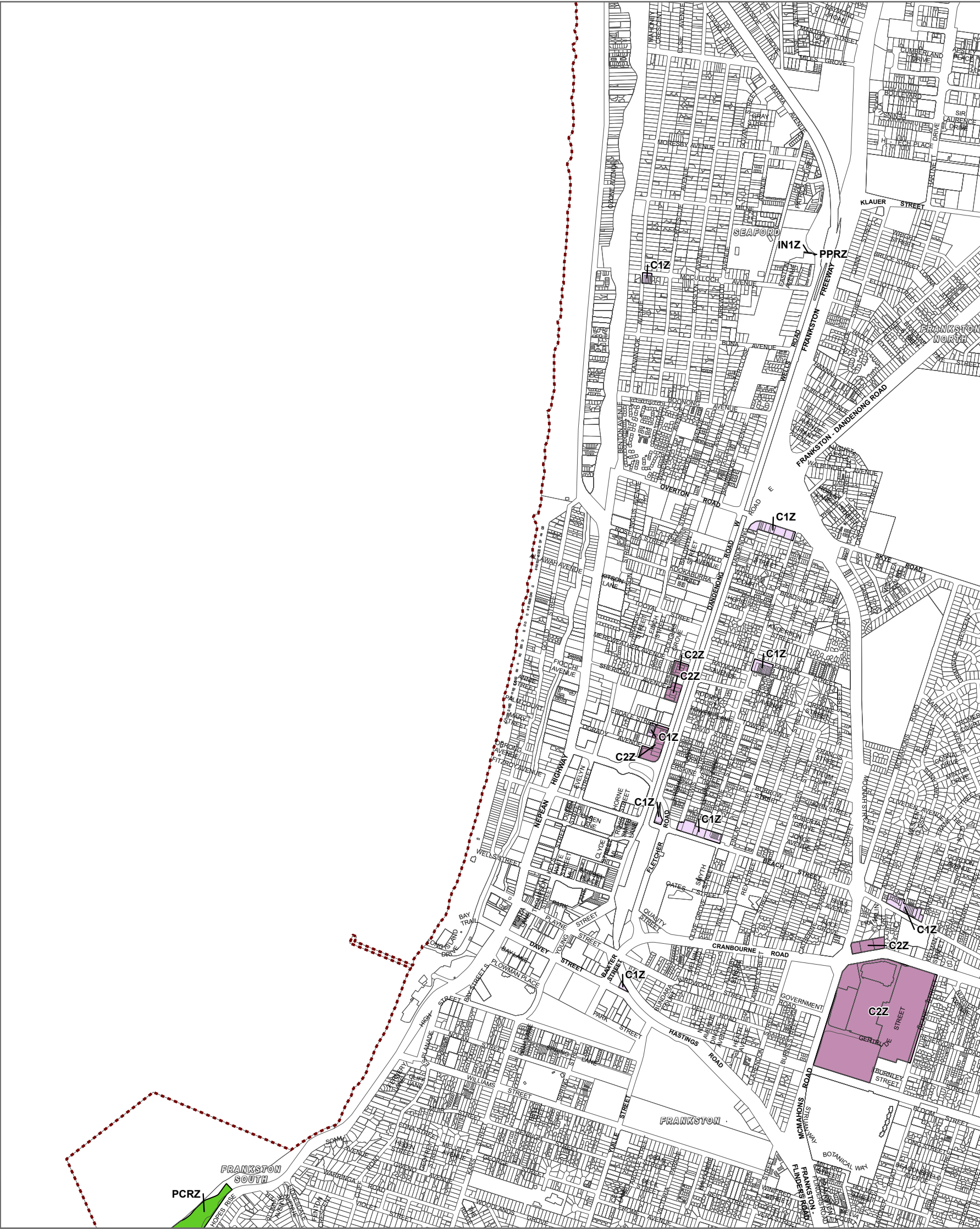






FRANKSTON PLANNING SCHEME - LOCAL PROVISION

AMENDMENT C167fran



**LEGEND**

- C1Z - Commercial 1 Zone
- C2Z - Commercial 2 Zone
- IN1Z - Industrial 1 Zone
- PCRZ - Public Conservation and Resource Zone
- PPRZ - Public Park and Recreation Zone

Municipal Boundary

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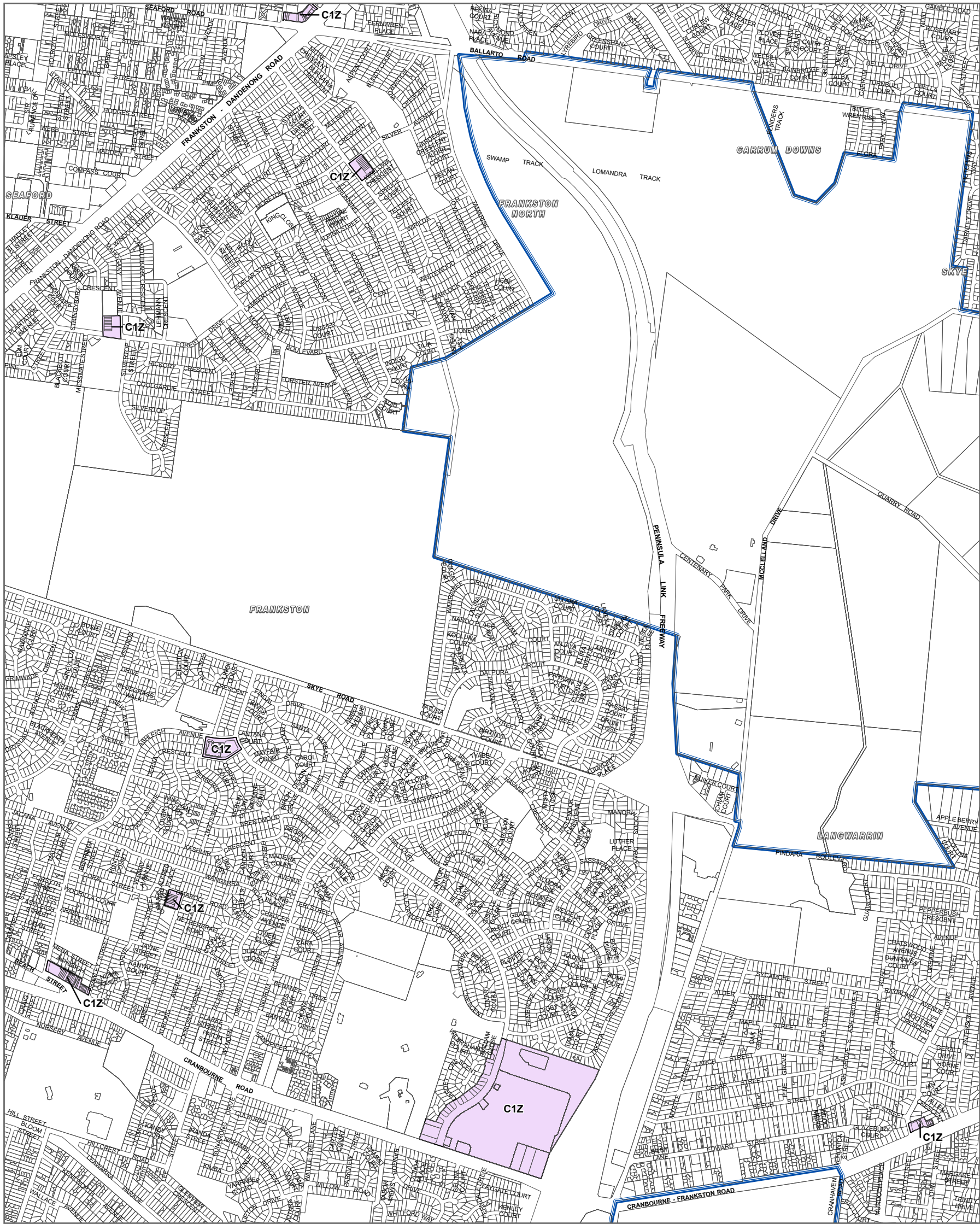
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Department of Transport and Planning

**INDEX TO ADJOINING SCHEME MAPS**



FRANKSTON PLANNING SCHEME - LOCAL PROVISION  
AMENDMENT C167frn



**LEGEND**

C12 - Commercial 1 Zone

---- Municipal Boundary

---- Urban Growth Boundary

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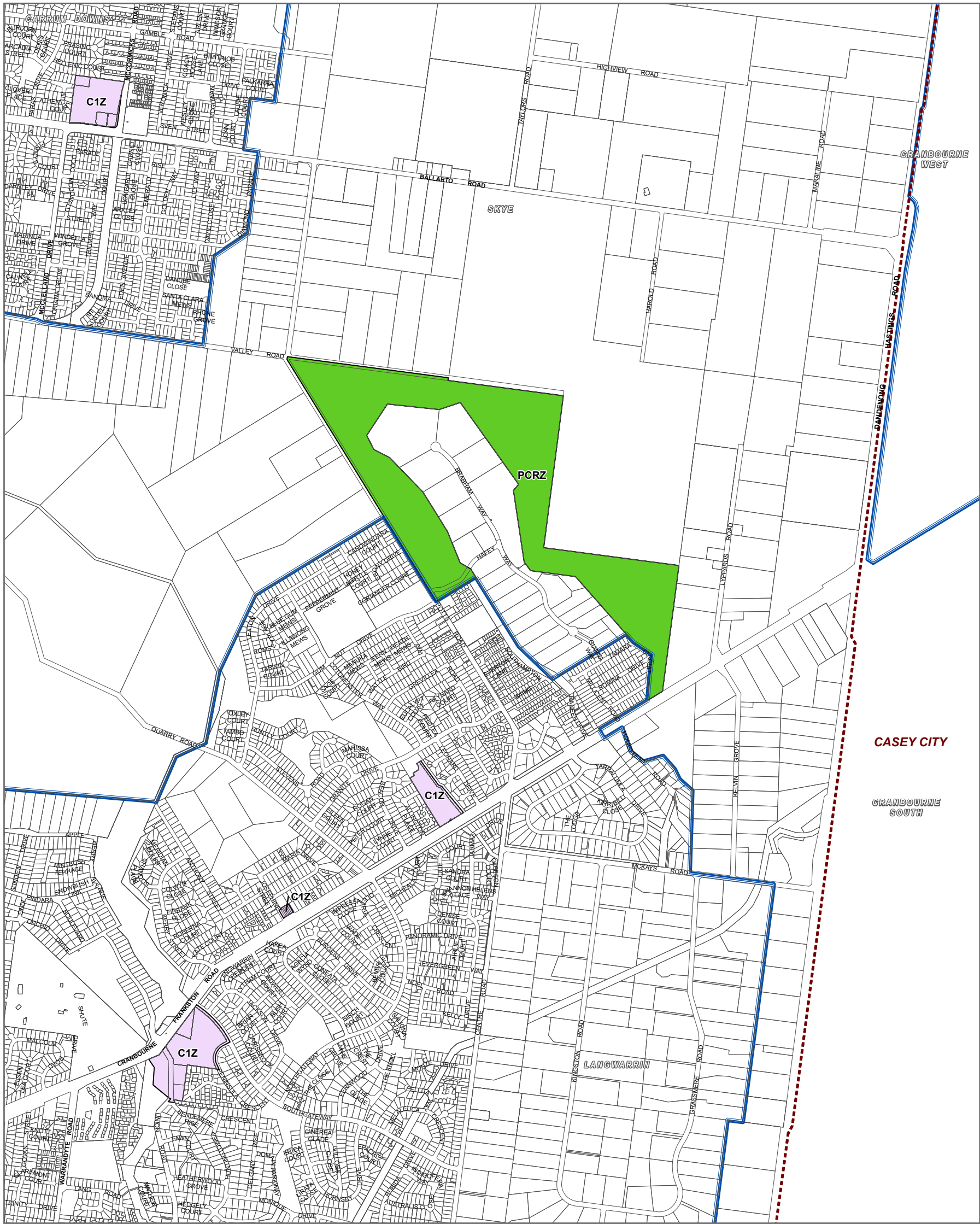
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**INDEX TO ADJOINING SCHEME MAPS**



FRANKSTON PLANNING SCHEME - LOCAL PROVISION  
AMENDMENT C167



**LEGEND**

- C1Z - Commercial 1 Zone
- PCRZ - Public Conservation and Resource Zone

Municipal Boundary

Urban Growth Boundary

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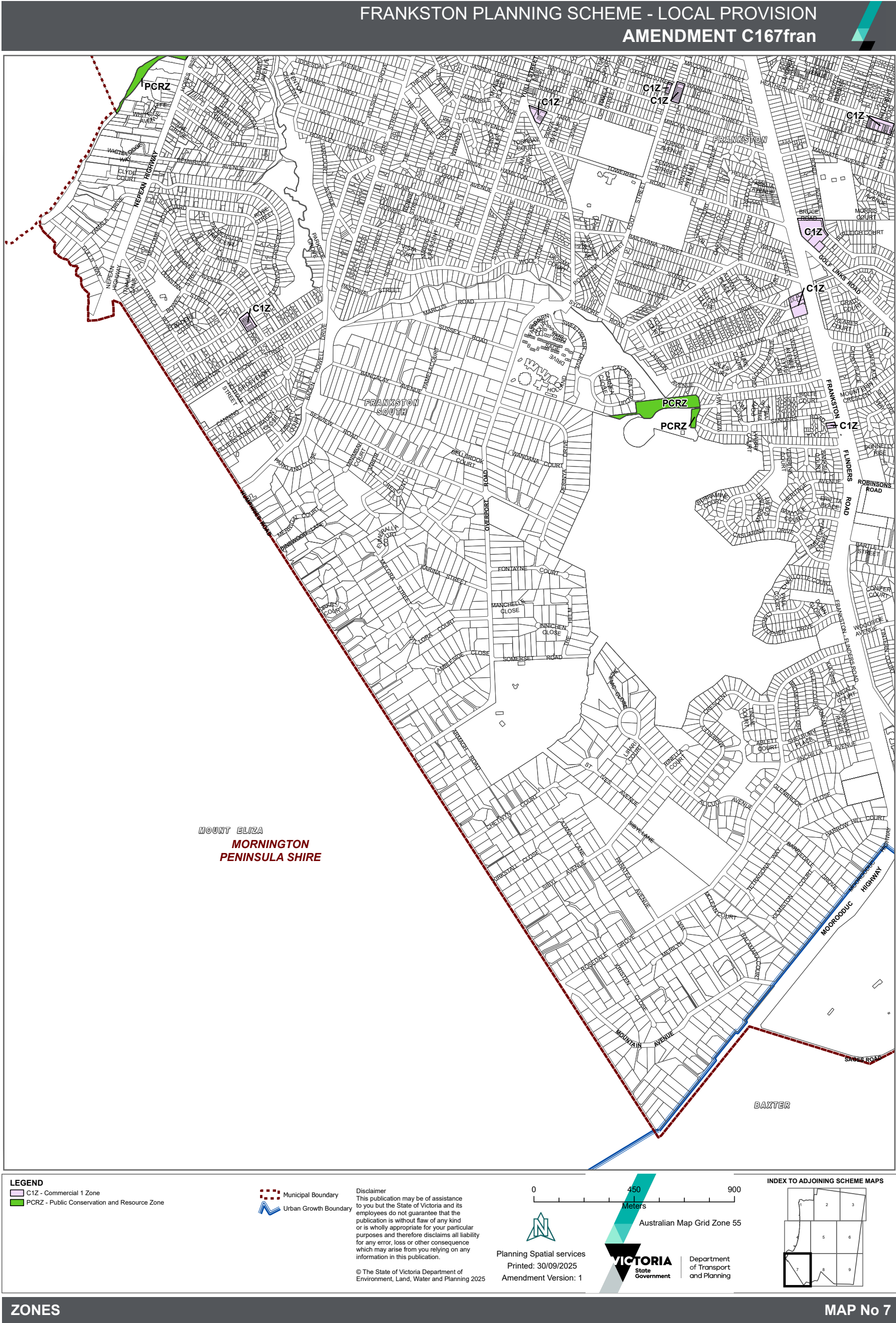
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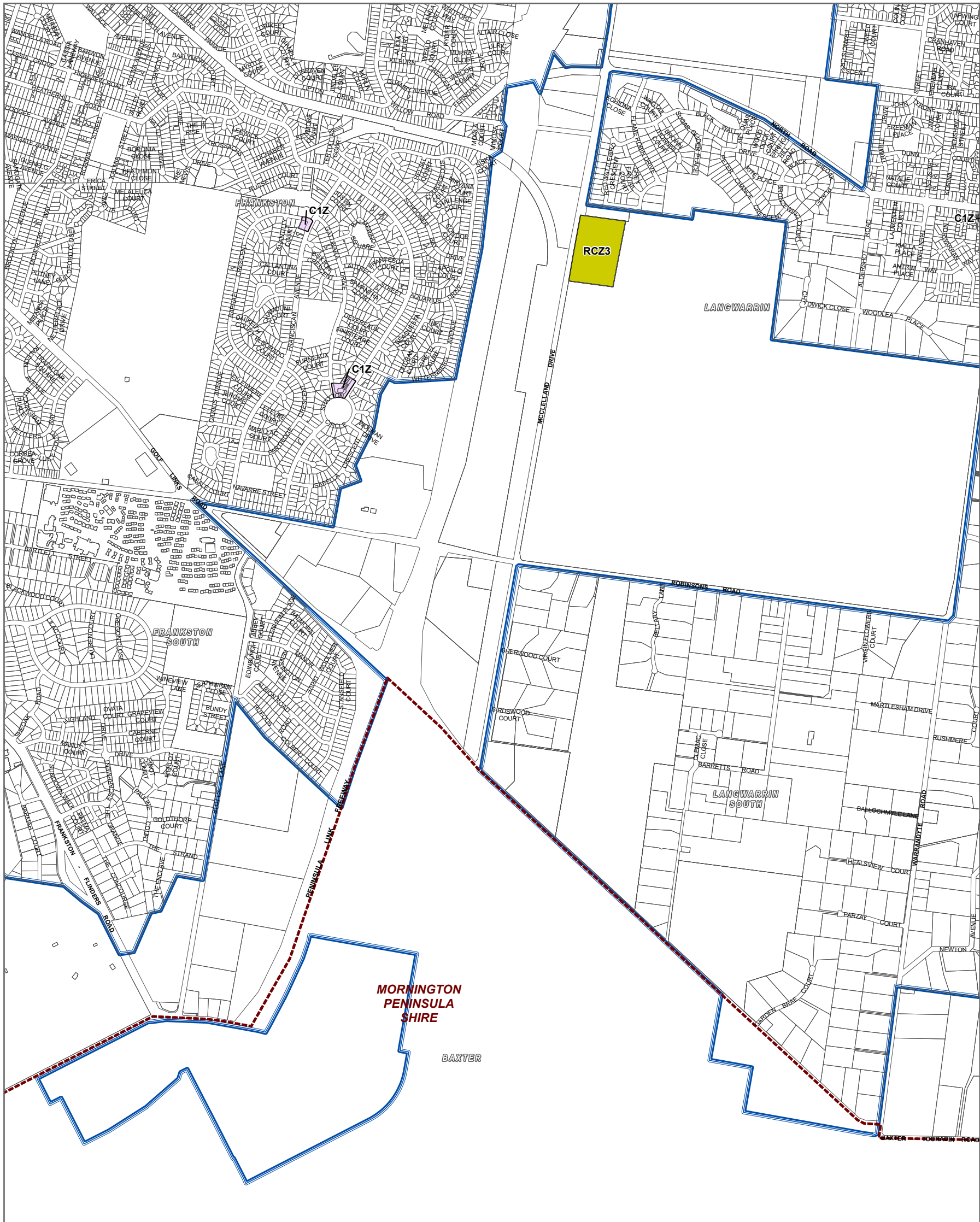
**INDEX TO ADJOINING SCHEME MAPS**







FRANKSTON PLANNING SCHEME - LOCAL PROVISION  
AMENDMENT C167fran



**LEGEND**

- C12 - Commercial 1 Zone
- RCZ - Rural Conservation Zone

Municipal Boundary

Urban Growth Boundary

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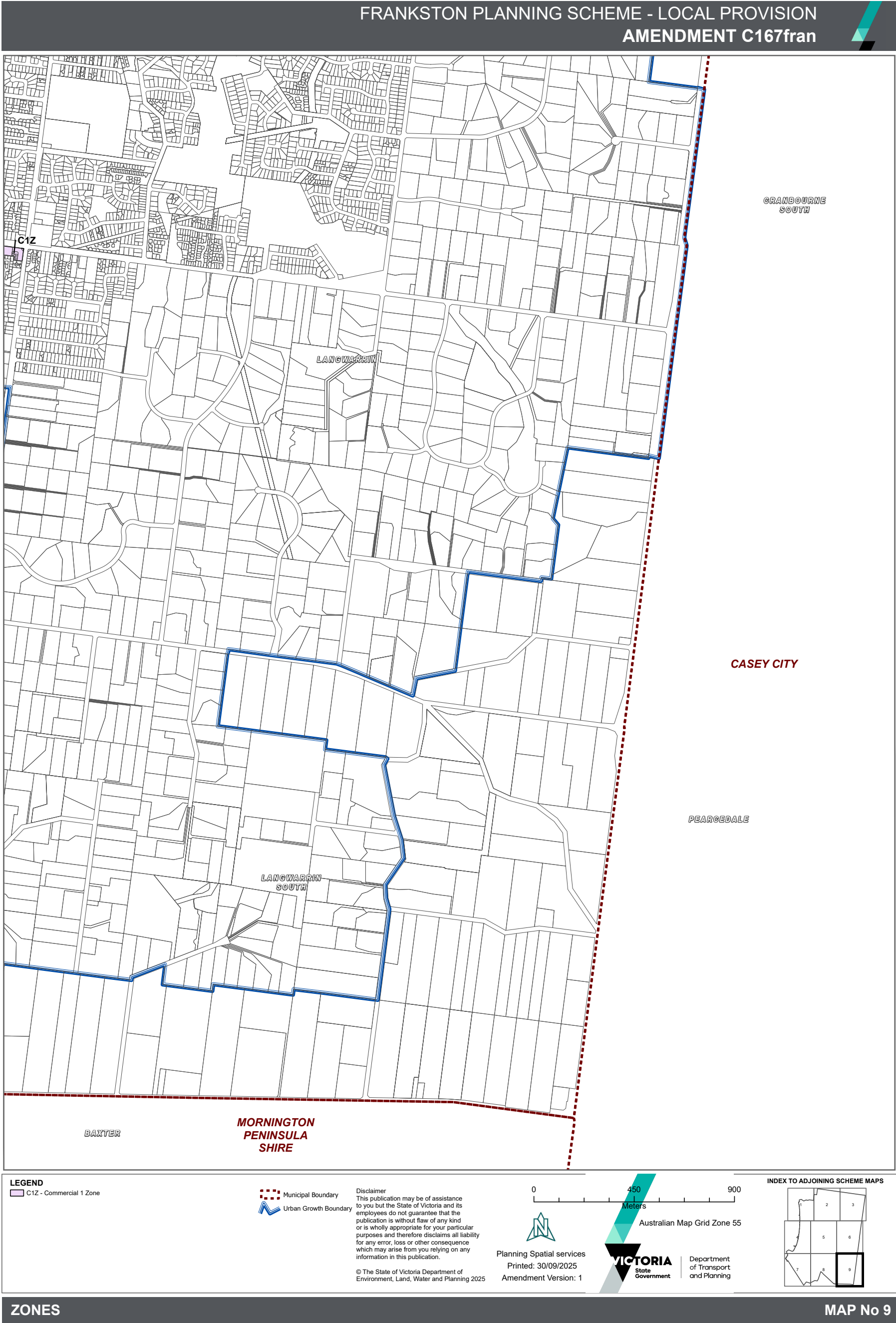
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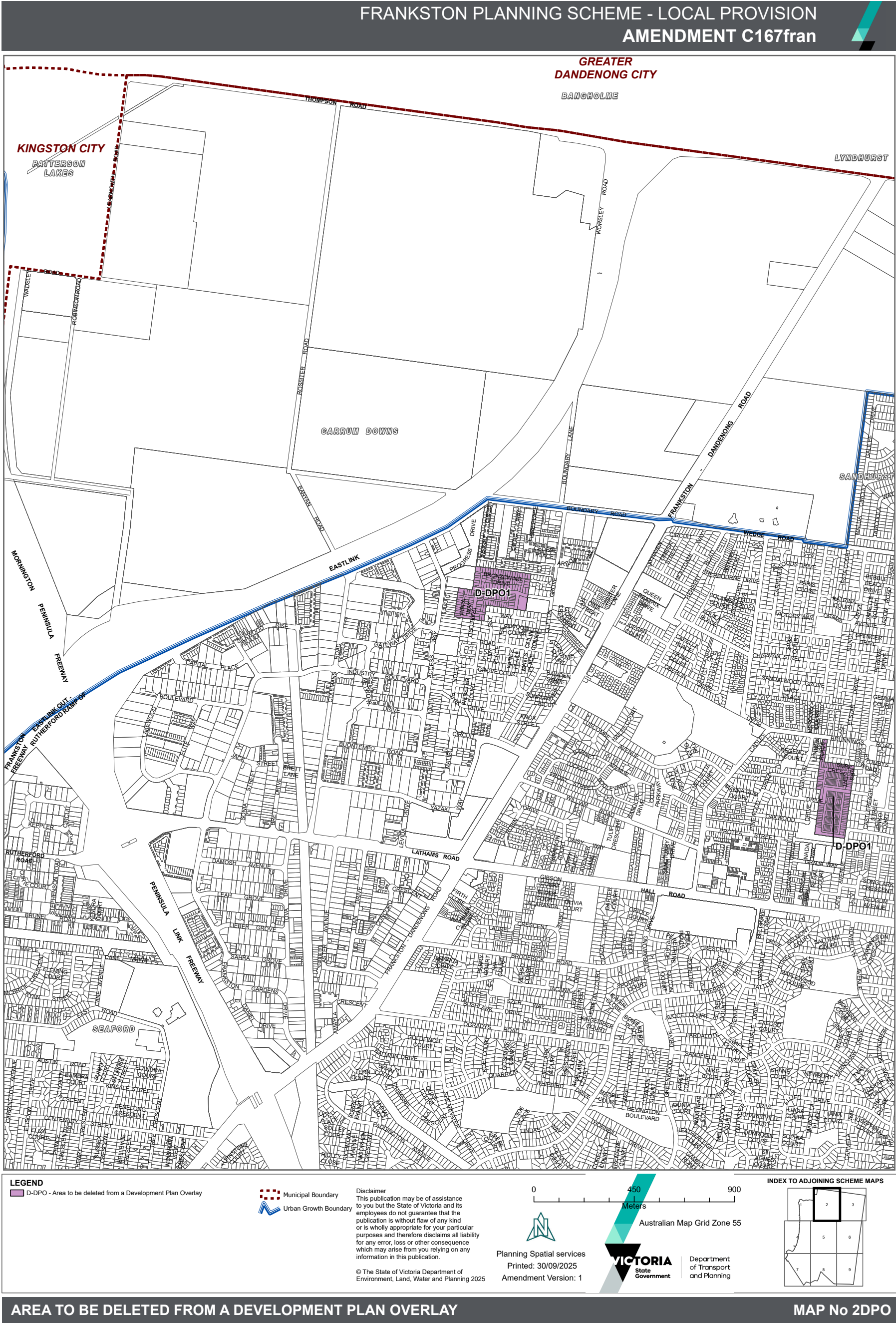
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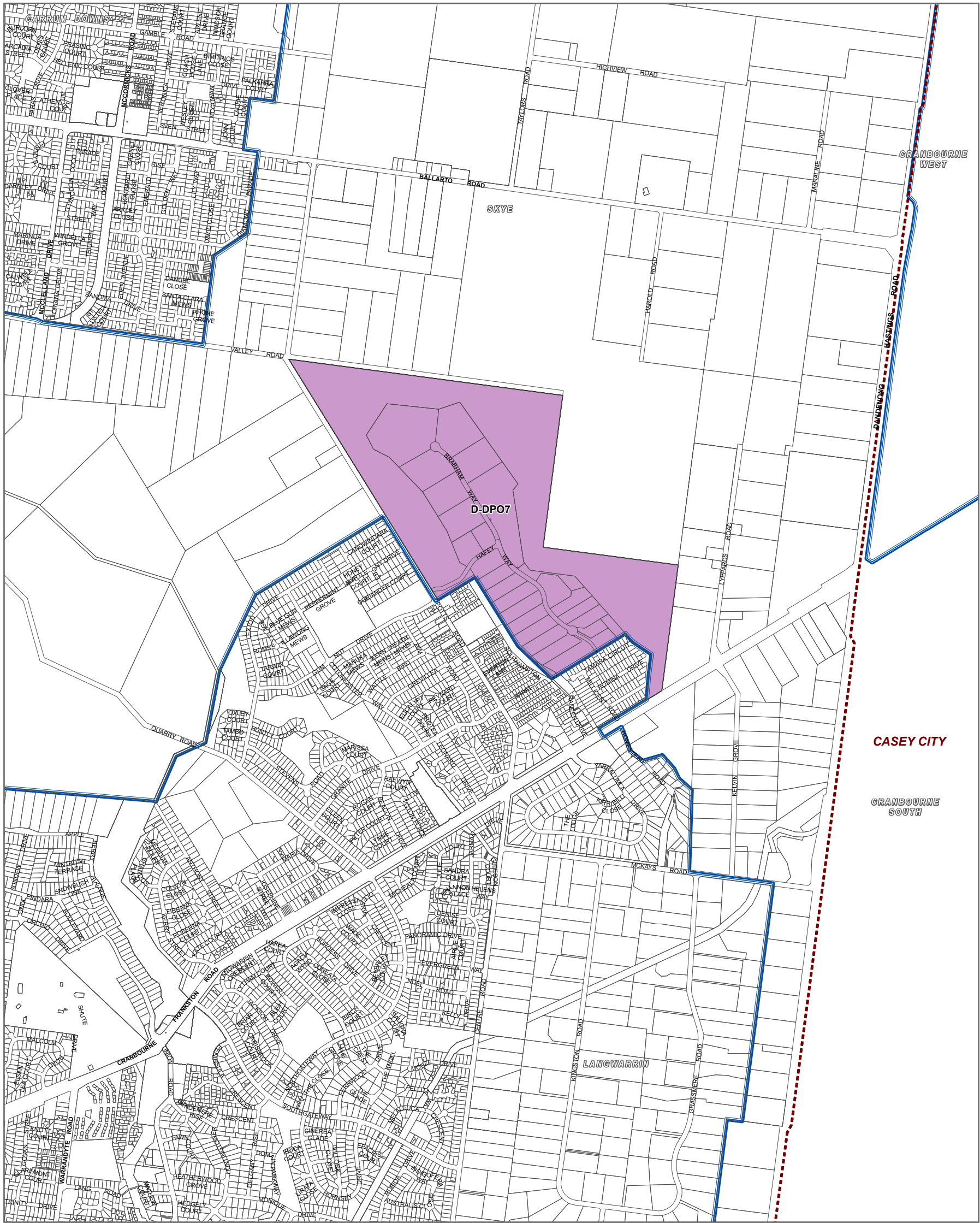








FRANKSTON PLANNING SCHEME - LOCAL PROVISION  
AMENDMENT C167fran



**LEGEND**

D-DPO - Area to be deleted from a Development Plan Overlay

Municipal Boundary

Urban Growth Boundary

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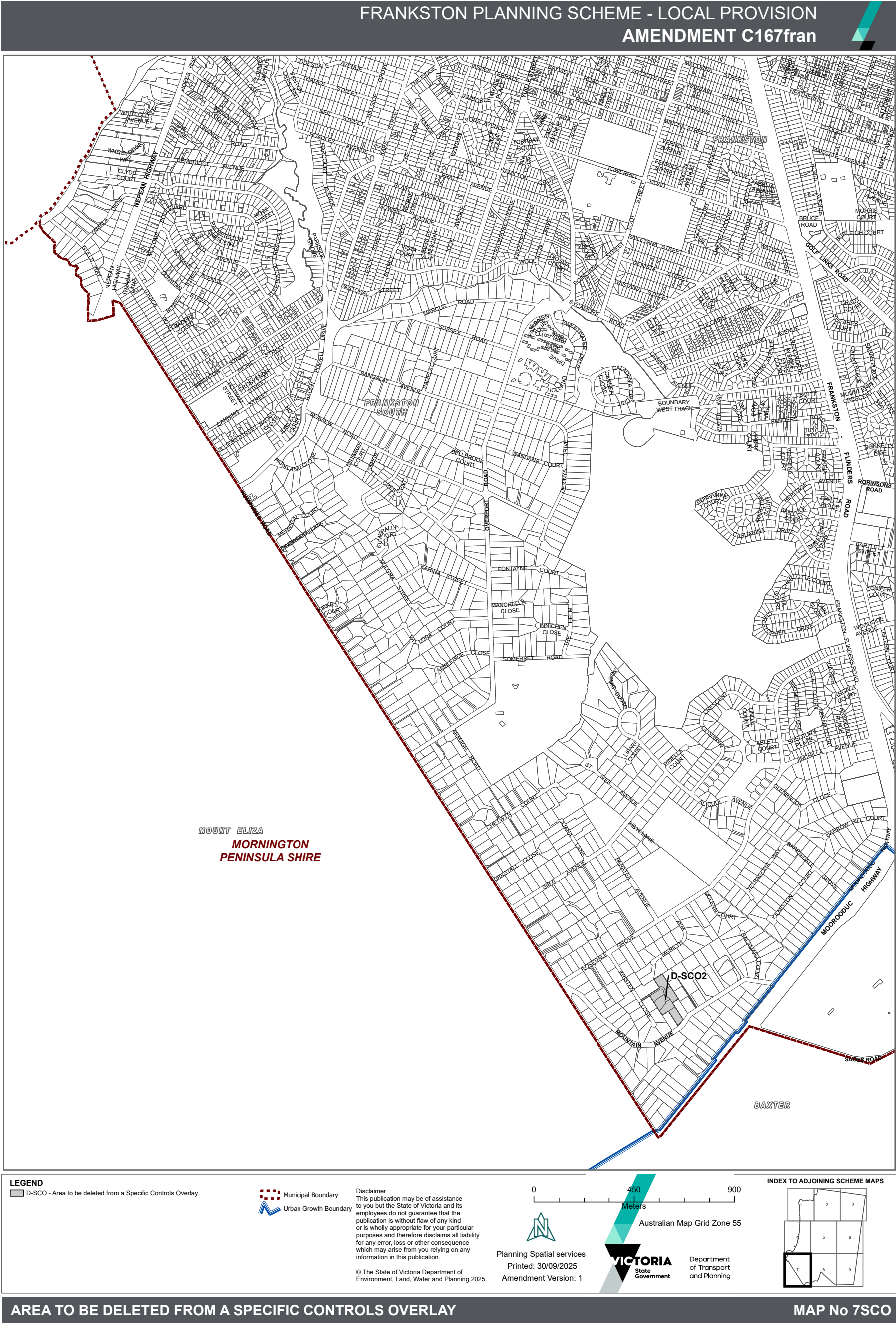
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**INDEX TO ADJOINING SCHEME MAPS**





## **Consideration of City Planning Reports**

### **REQUEST AUTHORISATION FROM THE MINISTER FOR PLANNING FOR COUNCIL TO PREPARE AND EXHIBIT PLANNING SCHEME AMENDMENT C167FRAN (CORRECTIONS AMENDMENT)**

#### **Planning Scheme Amendment C167fran Supporting Documentation**

**Meeting Date: 17 November 2025**

**Attachment: B**



# **Corrections Amendment Frankston Planning Scheme Amendment C167fran**

**Supporting Information**

November 2025

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## 1. Reference Table of Zones and Overlays

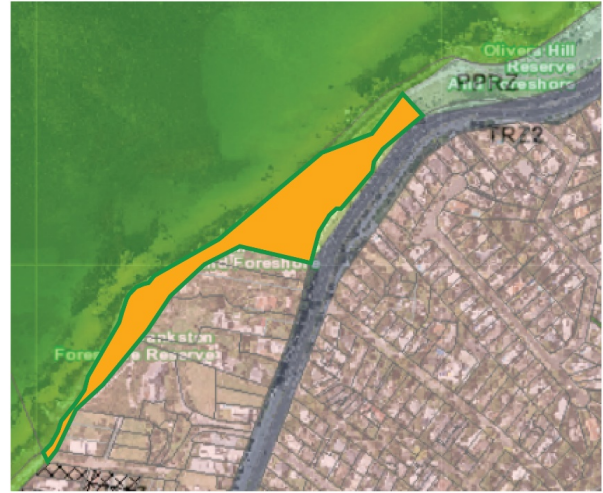
Zone	Acronym	Overlay	Acronym
Activity Centre Zone – Schedule 1	ACZ1	Design and Development Overlay – Schedule 4	DDO4
Business 1 Zone	B1Z	Design and Development Overlay – Schedule 8	DDO8
Business 2 Zone	B2Z	Development Plan Overlay – Schedule 1	DPO1
Business 4 Zone	B4Z	Development Plan Overlay – Schedule 7	DPO7
Business 5 Zone	B5Z	Significant Landscape Overlay – Schedule 5	SLO5
Commercial 1 Zone	C1Z	Significant Landscape Overlay – Schedule 6	SLO6
Commercial 2 Zone	C2Z	Specific Control Overlay – Schedule 2	SCO2
General Residential Zone – Schedule 1	GRZ1		
General Residential Zone – Schedule 2	GRZ2		
Industrial 1 Zone	IN1Z		
Public Conservation and Recreation Zone	PCRZ		
Public Park and Resource Zone	PPRZ		
Public Use Zone – Schedule 1	PUZ1		
Rural Conservation Zone – Schedule 3	RCZ3		
Rural Conservation Zone – Schedule 4	RCZ4		
Special Use Zone – Schedule 3	SUZ3		

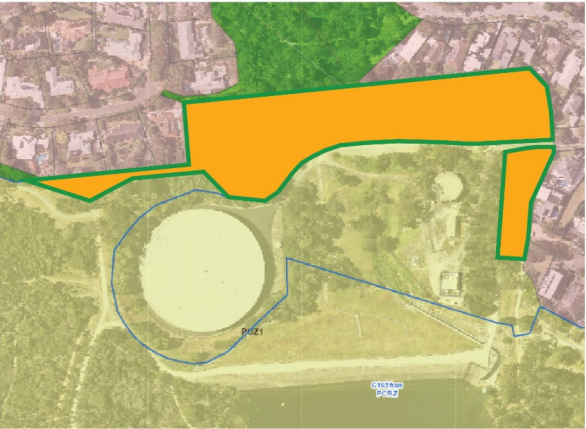
## 2. Planning Policy Framework

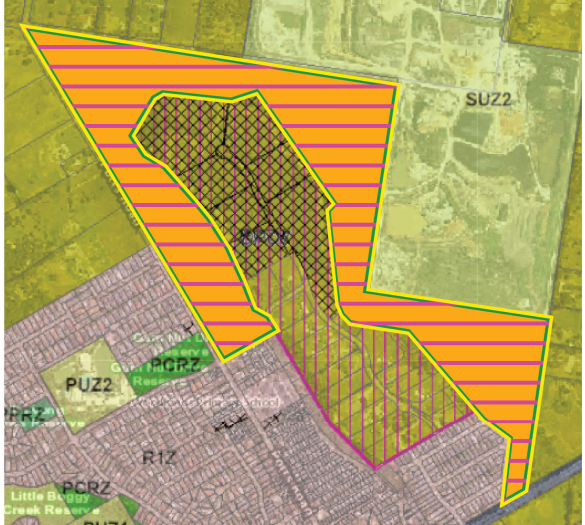
Planning Policy Framework																																			
Clause	Error	Recommendation	Evidence																																
<b>15.01.5L Frankston Preferred Neighbourhood Character</b>	In the <b>Frankston</b> table Precinct 11 has been omitted from the ' <i>Preserve the openness of the streetscape</i> ' row in the 'Precincts' column.	Add <b>Precinct 11</b> to the ' <i>Preserve the openness of the streetscape</i> ' guideline.  The omission of Precinct 11 is an administrative error.	<p><b>Frankston</b></p> <table> <tr> <th colspan="4">FRANKSTON</th></tr> <tr> <th colspan="2">Strategies</th><th colspan="2">Policy guidelines</th></tr> <tr> <th>Precincts</th><th></th><th>Precincts</th><th>Consider as relevant:</th></tr> <tr> <td>1, 7, 8, 9 &amp; 10</td><td>Preserve the openness of the streetscape.</td><td>1,7,8 &amp; 9</td><td>Providing no front fences, other than along heavily trafficked roads.</td></tr> <tr> <td></td><td></td><td>5,6,11</td><td>Providing no front fences, or low, open style fences, other than along heavily trafficked roads.</td></tr> <tr> <td></td><td></td><td>3 &amp; 4</td><td>Providing low or open style front fences, other than along heavily trafficked roads.</td></tr> <tr> <td></td><td></td><td>2</td><td>Providing no front fences facing the street and low open style fences in other areas, other than along heavily trafficked roads.</td></tr> <tr> <td></td><td></td><td>10</td><td>Providing low, open style or brush front fences other than along heavily trafficked roads.</td></tr> </table>	FRANKSTON				Strategies		Policy guidelines		Precincts		Precincts	Consider as relevant:	1, 7, 8, 9 & 10	Preserve the openness of the streetscape.	1,7,8 & 9	Providing no front fences, other than along heavily trafficked roads.			5,6,11	Providing no front fences, or low, open style fences, other than along heavily trafficked roads.			3 & 4	Providing low or open style front fences, other than along heavily trafficked roads.			2	Providing no front fences facing the street and low open style fences in other areas, other than along heavily trafficked roads.			10	Providing low, open style or brush front fences other than along heavily trafficked roads.
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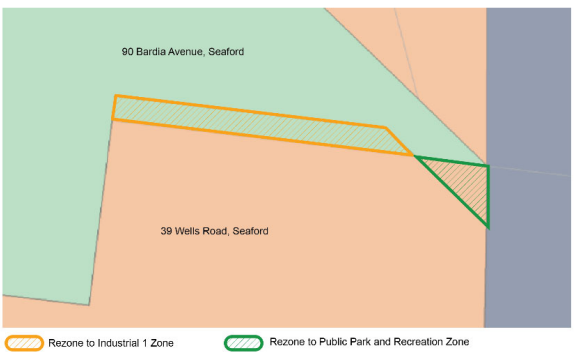
<p><b>15.01.5L Frankston Preferred Neighbourhood Character</b></p>	<p>In the <b>Frankston South</b> table, the policy guideline contains duplicated guidance:</p> <ul style="list-style-type: none"> <li>• <i>'Providing setbacks on both side boundaries and the rear boundary'.</i></li> </ul> <p><b>AND</b></p> <ul style="list-style-type: none"> <li>• <i>'Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm'.</i></li> </ul>	<p>Delete <i>'Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm'</i></p> <p>The existing guideline covers this requirement.</p>	<p><b>Frankston South</b></p> <table border="1"> <thead> <tr> <th colspan="4">FRANKSTON SOUTH</th> </tr> <tr> <th colspan="2">Strategies</th> <th colspan="2">Policy guidelines</th> </tr> <tr> <th>Precincts</th> <th></th> <th>Precincts</th> <th>Consider as relevant:</th> </tr> </thead> <tbody> <tr> <td>1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 &amp; 14</td> <td>Preserve the rhythm of existing dwelling spacing.</td> <td>4 &amp; 5</td> <td>Providing setbacks on one side boundary.</td> </tr> <tr> <td></td> <td></td> <td>2 &amp; 6</td> <td>Providing setbacks on both side boundaries and the rear boundary.</td> </tr> <tr> <td></td> <td></td> <td>3, 7, 10, 11, 12, 13 &amp; 14</td> <td>Providing setbacks on both side boundaries and the rear boundary.</td> </tr> <tr> <td></td> <td></td> <td>1 &amp; 8</td> <td>Providing setbacks on all boundaries.</td> </tr> <tr> <td></td> <td></td> <td>6</td> <td>Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.</td> </tr> <tr> <td></td> <td></td> <td>9</td> <td>Providing setbacks on at least one side boundary and preferably all side and rear boundaries.</td> </tr> </tbody> </table>	FRANKSTON SOUTH				Strategies		Policy guidelines		Precincts		Precincts	Consider as relevant:	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14	Preserve the rhythm of existing dwelling spacing.	4 & 5	Providing setbacks on one side boundary.			2 & 6	Providing setbacks on both side boundaries and the rear boundary.			3, 7, 10, 11, 12, 13 & 14	Providing setbacks on both side boundaries and the rear boundary.			1 & 8	Providing setbacks on all boundaries.			6	Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.			9	Providing setbacks on at least one side boundary and preferably all side and rear boundaries.
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<p><b>15.01.5L Frankston Preferred Neighbourhood Character</b></p>	<p>In the <b>Frankston South</b> table, the guideline <i>'Providing setbacks on both side boundaries and the rear boundary'</i> separates <b>Precincts 2 &amp; 6</b> from <b>Precincts 3, 7, 10, 11, 12, 13 &amp; 14</b>, resulting in duplication.</p>	<p>Merge Precincts <b>2 &amp; 6</b> with <b>Precincts 3, 7, 10, 11, 12, 13 &amp; 14</b> for this guideline.</p> <p>The requirement is covered consistently across all precincts.</p>	<p><b>Frankston South</b></p> <table border="1"> <thead> <tr> <th colspan="4">FRANKSTON SOUTH</th> </tr> <tr> <th colspan="2">Strategies</th> <th colspan="2">Policy guidelines</th> </tr> <tr> <th>Precincts</th> <th></th> <th>Precincts</th> <th>Consider as relevant:</th> </tr> </thead> <tbody> <tr> <td>1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 &amp; 14</td> <td>Preserve the rhythm of existing dwelling spacing.</td> <td>4 &amp; 5</td> <td>Providing setbacks on one side boundary.</td> </tr> <tr> <td></td> <td></td> <td>2 &amp; 6</td> <td>Providing setbacks on both side boundaries and the rear boundary.</td> </tr> <tr> <td></td> <td></td> <td>3, 7, 10, 11, 12, 13 &amp; 14</td> <td>Providing setbacks on both side boundaries and the rear boundary.</td> </tr> </tbody> </table>	FRANKSTON SOUTH				Strategies		Policy guidelines		Precincts		Precincts	Consider as relevant:	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14	Preserve the rhythm of existing dwelling spacing.	4 & 5	Providing setbacks on one side boundary.			2 & 6	Providing setbacks on both side boundaries and the rear boundary.			3, 7, 10, 11, 12, 13 & 14	Providing setbacks on both side boundaries and the rear boundary.												
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### 3. Zones

Zones				
Clause	Address	Error	Recommendation	Evidence
Clause 37.01 SUZ3	Frankston Foreshore Reserve/570N Nepean Highway, Frankston South	The SUZ3 has been deleted from the Frankston Planning Scheme.	<p>Rezone from <b>SUZ3</b> to <b>PCRZ</b> to align with the adjacent foreshore zone.</p> <p><b>Note: SUZ3</b> has been deleted as a schedule from the Frankston Planning Scheme through Planning Scheme Amendment C152fran.</p>	<p>Appendix 1 and 2</p>  <p>Rezone to Public Conservation and Resource Zone</p>

<p><b>Schedule to Clause 36.01 - PUZ1</b></p>	<p>13 Jeremy Way, Frankston South</p>	<p>The parcels comprise part of the Frankston Nature and Conservation Reserve, some of which have been proposed to be partially rezoned to PCRZ in Amendment C165frn.</p>	<p>Rezone from <b>PUZ1</b> to <b>PCRZ</b> to align with adjacent zones.</p> <p><b>Note:</b> The parcels proposed in this amendment were identified during the exhibition of Amendment C165frn.</p>	 <p>Rezoned to Public Conservation and Resource Zone</p> <p><b>Appendix 3 and 4</b></p>
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




<p><b>Schedule 4 to Clause 35.06 - RCZ4</b></p>	<p>495 Cranbourne – Frankston Road, Langwarrin</p>	<p>Land is now in public ownership and must reflect an appropriate public zone.</p>	<p>Rezone from <b>RCZ4</b> to <b>PCRZ</b>.</p>	<p><b>Appendix 5 and 6</b></p>  <p>Rezone to Public Conservation and Resource Zone</p> <p>Remove Development Plan Overlay - Schedule 7 off this area</p>
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<p><b>Clause 36.02 - PPRZ</b></p>	<p>90 Bardia Avenue, Seaford</p>	<p>Land is in two zones and must be in the PPRZ.</p>	<p>Rezone from <b>IN1Z</b> to <b>PPRZ</b> to provide a single, consistent zone that reflects Council ownership of the Frankston Basketball and Gymnastic Stadium.</p>	 <p>90 Bardia Avenue, Seaford</p> <p>39 Wells Road, Seaford</p> <p>Rezone to Industrial 1 Zone</p> <p>Rezone to Public Park and Recreation Zone</p> <p><b>Appendix 7</b></p>
<p><b>Clause 33.01 - IN1Z</b></p>	<p>39 Wells Road, Seaford</p>	<p>Land is in two different zones and must be in the IN1Z.</p>	<p>Rezone from <b>PPRZ</b> to <b>IN1Z</b> to provide a single, consistent zone.</p>	 <p>90 Bardia Avenue, Seaford</p> <p>39 Wells Road, Seaford</p> <p>Rezone to Industrial 1 Zone</p> <p>Rezone to Public Park and Recreation Zone</p> <p><b>Appendix 8</b></p>



<p><b>Clause 36.01 - PUZ1</b></p>	<p>620 McClelland Drive, Langwarrin</p>	<p>Formerly owned by Telstra, this site has been sold to a private landowner.</p>	<p>Rezone from <b>PUZ1</b> to <b>RCZ3</b> to reflect the private ownership and align with Council's <i>Green Wedge Management Plan</i> strategies and adjacent zoning.</p>	 <p>Rezone to Rural Conservation Zone - Schedule 3</p> <p><b>Appendix 9</b></p>
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Schedule 1 to Clause 32.08 - GRZ1	N/A	GRZ2 is listed at Schedule 1 to Clause 32.08; but this zone does not exist.	Replace <b>GRZ2</b> with <b>GRZ1</b> in ' <i>shown on planning scheme map as...</i> ' as this zone does not exist.	<div><div>SCHEDULE 1</div><div>23/05/2019</div><div>C133fran</div></div> <div>SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE</div> <div>Shown on the planning scheme map as R1Z and GRZ2.</div> <div>GENERAL RESIDENTIAL AREAS</div> <div><div><div>32.08 GENERAL RESIDENTIAL ZONE</div><div>VPP GRZ,R1Z,R2Z,R3Z</div></div><div>SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE</div><div>R1Z,GRZ2</div><div>SCHEDULE 3 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE</div><div>GRZ3</div><div>SCHEDULE 4 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE</div><div>GRZ4</div></div>															
Schedule 1 to Clause 37.08 - ACZ1	N/A	Table 13 – Solar access incorrectly spells 'Norfolk' as 'Norfold'.	Correct spelling to 'Norfolk' in Table 13 – Solar Access.	<table><tr><th colspan="3">Table 13 – Solar Access</th></tr><tr><th>Street or public space</th><th>Location</th><th>Preferred minimum solar access to be maintained</th></tr><tr><td>Nepean Highway</td><td>Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer Diagram 4).</td><td>Between 10am and 2pm on 22 September.</td></tr><tr><td>Playne Street</td><td>Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.</td><td></td></tr><tr><td>Davey Street</td><td>Entire southern footpath to the kerb line including the nature strip and <b>Norfold</b> Island Pines.</td><td></td></tr></table>	Table 13 – Solar Access			Street or public space	Location	Preferred minimum solar access to be maintained	Nepean Highway	Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer Diagram 4).	Between 10am and 2pm on 22 September.	Playne Street	Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.		Davey Street	Entire southern footpath to the kerb line including the nature strip and <b>Norfold</b> Island Pines.	
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<b>Clause 34.01 - B1Z, B2Z and B5Z</b>	Refer to <b>Appendix 10</b>	Maps and Planning Scheme references use outdated Business zones.	Delete all <b>B1Z, B2Z and B5Z</b> maps and Planning Scheme references and replace with <b>C1Z</b> for consistency with Victorian State planning guidance.	<div> <input checked="" type="checkbox"/>  B1Z - Business 1 Zone (superseded by C1Z)         </div> <div> <input checked="" type="checkbox"/>  B2Z - Business 2 Zone (superseded by C1Z)         </div> <div> <input checked="" type="checkbox"/>  B3Z - Business 3 Zone (superseded by C2Z)         </div> <div> <input checked="" type="checkbox"/>  B4Z - Business 4 Zone (superseded by C2Z)         </div> <div> <input checked="" type="checkbox"/>  B5Z - Business 5 Zone (superseded by C1Z)         </div> <b>Appendix 10</b>	
<b>Clause 34.02 - B4Z</b>	Refer to <b>Appendix 11</b>	Maps and Planning Scheme references use outdated Business zones.	Delete all <b>B4Z</b> maps and planning scheme references and replace with <b>C2Z</b> for consistency with Victorian State planning guidance.	<div> <input checked="" type="checkbox"/>  B1Z - Business 1 Zone (superseded by C1Z)         </div> <div> <input checked="" type="checkbox"/>  B2Z - Business 2 Zone (superseded by C1Z)         </div> <div> <input checked="" type="checkbox"/>  B3Z - Business 3 Zone (superseded by C2Z)         </div> <div> <input checked="" type="checkbox"/>  B4Z - Business 4 Zone (superseded by C2Z)         </div> <div> <input checked="" type="checkbox"/>  B5Z - Business 5 Zone (superseded by C1Z)         </div> <b>Appendix 11</b>	

## 4. Overlays

Overlays				
Clause	Address	Error	Recommendation	Evidence
Schedule 1 to Clause 43.04 - DPO1	Refer to Appendix 12	DPO1 applies to areas that have now been developed.	Delete <b>DPO1</b> from the listed properties, as it is no longer required.	 <p>Appendix 12 and 13</p>
Schedule 1 to Clause 43.04 - DPO1	Refer to Appendix 12	DPO1 applies to areas that have now been developed.	Delete <b>DPO1</b> from the listed properties, as it is no longer required.	 <p>Appendix 12 and 14</p>

<b>Schedule 7 to Clause 43.04 - DPO7</b>	495 Cranbourne – Frankston Road, Langwarrin	Land is now in public ownership (DEECA).	Delete <b>DPO7</b> from the site to reflect current public ownership.	<b>Appendix 5 and 6</b>
<b>Schedule to Clause 45.12 - SCO2</b>	Refer to <b>Appendix 12</b>	SCO2 applies to areas that have now been developed.	Delete <b>SCO2</b> from the listed addresses, as it is no longer required.	
<b>Schedule 5 to Clause 42.03 - SLO5</b>	N/A	Incorrect spelling 'Brotherhood of St Lawrence'.	Correct spelling to 'Laurence'.	<b>Appendix 12 and 15</b> <div> <div>1.0 30/05/2024 C152fran</div> <div> <b>Statement of nature and key elements of landscape</b>   <p>The site commonly known as the G.K. Tucker Brotherhood of St. Laurence Settlement contains a mixture of remnant indigenous vegetation and mature exotic trees and shrubs which make a significant contribution to the landscape quality and character of this area.</p> <p>Areas of remnant indigenous vegetation have been identified on the site, this vegetation has environmental significant including providing habitat for indigenous fauna.</p> <p>This land was established as low cost housing in the early 20th century by Gerard Kennedy Tucker founder of the Brotherhood of St. <b>Lawrence</b>. Trees</p> </div> </div>

<b>Schedule 6 to Clause 42.03 - SLO6</b>	N/A	Multiple spelling mistakes under <i>'Buildings and Works'</i> .	<p>Correct spelling errors:</p> <ul style="list-style-type: none"> <li>• <i>'metres'</i> to <i>'metres'</i></li> <li>• <i>'wheren'</i> to <i>'where'</i></li> <li>• <i>'definied'</i> to <i>'defined'</i></li> </ul>	<p><b>3.0</b> 04/05/2017 C113</p> <p><b>Permit requirement</b></p> <p><b>Buildings and Works</b></p> <p>A permit is required to construct a front fence.</p> <p>A permit is not required:</p> <ul style="list-style-type: none"> <li>■ To construct a building or construct or carry out works outside the Tree Protection Zone of any substantial tree. The Tree Protection Zone is defined as the area with a radius from the centre of the trunk 12 times the diameter of the trunk except where:</li> <li>■ The measured radius is less than 5 metres, in which case the radius must be 5 metres; or</li> <li>■ The measured radius is greater than 15 metres, in which case the radius must be 15 metres.</li> </ul> <p>For the purposes of calculating the Tree Protection Zone, the diameter of the trunk is measured at 1.4 metres above the point where it meets natural ground level.</p>
<b>Schedule 4 to Clause 43.02 - DDO4</b>	N/A	Missing word in sentence: <i>'A permit is not required to construct a building or carry out works'</i> .	<p>Add the word <b>'for'</b> at the end of the sentence <i>'A permit is not required to construct a building or carry out works <b>for</b>'</i>.</p> <p>Incorrect grammar.</p>	<p><b>2.0</b> 13/10/2016 C112</p> <p><b>Buildings and works</b></p> <p>A permit is not required to construct a building or carry out works:</p>
<b>Schedule 8 to Clause 43.02 - DDO8</b>	N/A	Unnecessary phrase <i>'to the satisfaction of the Responsible Authority'</i> in 2.0 Buildings and Works requirement.	<p>Amend sentence and <b>delete</b> <i>'to the satisfaction of the Responsible Authority'</i></p> <p><i>'Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance'</i>.</p>	<ul style="list-style-type: none"> <li>■ Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance to the satisfaction of the Responsible Authority.</li> </ul>

## 5. Particular Provisions

Particular Provisions				
Clause	Address	Error	Recommendation	Evidence
<b>Clause 51.01 – Specific Sites and Exclusions</b>	5, 6 and 7 Clyde Court, Frankston South	Subdivision has been registered.	<b>Delete</b> 5, 6 and 7 Clyde Court, Frankston South from 1.0 Specific sites and exclusions as the control is no longer required because subdivision has been registered.	<b>Appendix 16</b>

## 6. Appendices

Appendix 1: Email (redacted) in relation to the Safe Boat Harbour (SUZ3

Appendix 2: Amendment C152frn Explanatory Report

Appendix 3: Parks Victoria e-mail (redacted) in relation to 13N Jeremy Way

Appendix 4: Land Title for 13N Jeremy Way, Frankston South

Appendix 5: DTP/DEECA e-mail (redacted) in relation to 495 Cranbourne – Frankston Road, Langwarrin

Appendix 6: Land Title for 495 Cranbourne – Frankston Road, Langwarrin

Appendix 7: Land Title for 90 Bardia Avenue, Seaford

Appendix 8: Land Title for 39 Wells Road, Seaford

Appendix 9: Land Title for 620 McClelland Drive, Langwarrin

Appendix 10: Table of B1Z, B2Z and B5Z mapping updates

Appendix 11: Table of B4Z mapping updates

Appendix 12: Table of all properties to be deleted from DPO1 and SCO2

Appendix 13: Planning permit for 17 Pagett Road, Carrum Downs

Appendix 14: Planning permit for 26 Brunnings Road, Carrum Downs

Appendix 15: Planning permits for 34 Mountain Avenue, 4B, 4C and 4D Kristen Close, Frankston South

Appendix 16: Planning permit for 5, 6 and 7 Clyde Court, Frankston South

## **Consideration of City Planning Reports**

### **REQUEST AUTHORISATION FROM THE MINISTER FOR PLANNING FOR COUNCIL TO PREPARE AND EXHIBIT PLANNING SCHEME AMENDMENT C167FRAN (CORRECTIONS AMENDMENT)**

#### **Planning Scheme Amendment C167fran Appendices**

**Meeting Date: 17 November 2025**

**Attachment: C**



## Appendix 1: Email (redacted) in relation to the Safe Boat Harbour SUZ3

---

From: [redacted]  
Sent: Friday, February 21, 2025 6:50 AM  
To: [redacted]  
Subject: frankston Planning Scheme - Maps

Hi [redacted]  
I notice that the bulk of SUZ3 has been changed PCRZ from planning maps however there is still an area south of the OH car park that remains SUZ3. This was never advertised to public. Why has this occurred? Is it permissible without advertising?  
What is the purpose of SUZ3 in this area? Does it fit with CMMP?  
I also note that the ordinance that defines SUZ3 has been deleted from scheme so now SUZ3 actually means nothing!! What a mess and how does this happen?

<image001.png>  
<image002.png>  
Cheers [redacted]

On 21 Feb 2025, at 10:39, [redacted] wrote:

Hi [redacted]

Thank you for bringing this to our attention. The land appears to have been missed when the reference to Safe Boat Harbour and the associated Special Use Zone – Schedule 3 (SUZ3) was removed from the Frankston Planning Scheme as part of Planning Scheme Amendment C152frn.

The SUZ3 expired on 1 November 2022, and is now redundant. The zoning was inconsistent with the balance of zoning within Port Phillip Bay. Rezoning to PCRZ reflects the use and management of the site.

In continuation of this change, Planning Scheme Amendment C165frn (currently on exhibition) is looking to delete Clause 02.04 (Strategic Framework Maps) Economic development framework and Open space and recreation network map's reference to Safe Boat Harbour.

We will include the correction of the remaining SUZ3 zone map reference that you identified in the next corrections amendment to be presented to Council by the end of this year.

Thanks,  
[redacted]



[redacted]  
Environmental Policy and Planning >> City Futures  
Civic Centre >> 30 Davey Street Frankston >> PO Box 490 Frankston VIC 3199  
Telephone: [redacted]  
frankston.vic.gov.au >> [redacted]  
[Facebook icon] [Twitter icon] [YouTube icon] [Instagram icon]

*Frankston City Council acknowledges and pays respect to the Bunurong People, the Traditional Custodians of these lands and waters.*



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From: [REDACTED]  
Sent: Wednesday, March 19, 2025 6:50:28 am  
To: [REDACTED]  
Subject: Re: frankston Planning Scheme - Maps

Hi [REDACTED]

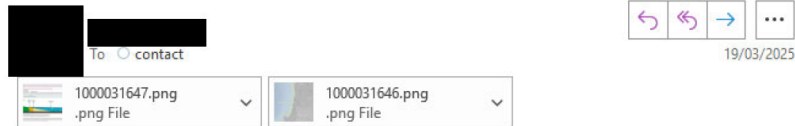
Another couple of questions on this - will the dashed line and indication of the Proposed Frankston Boat Harbour text also be removed?

I can't remember but is FCC also the committee of management for all marine zoned PCRZ areas?



Thanks [REDACTED]

Re: frankston Planning Scheme - Maps



Morning [REDACTED]

Council is a CoM for that previously 'proposed safe boat harbour' polygon and as such, that line forms a part of our municipal boundary.

While the SUZ3 was removed from the Planning Scheme and the area returned to PCRZ zoning (with the additional fix ups we talked about previously to be included in the next corrections amendment), the line will stay there on all maps unless Council decides to hand the Crown land lot back to the Crown.

Council's planning scheme extends 600m out into the bay from the Low Water Mark zoned as PCRZ, but all unreserved Crown land bayward from the High Water Mark is managed by DEECA and Council is only a CoM of that reserved section around Olivers Hill. (attached Figure 2 in the CMMP and the diagram from my February presentation visualise this distinction).

The Planning Scheme is sitting alongside but separate to land title boundaries, and as such, a Planning Scheme amendment is not the right mechanism for changing titles, Crown land reservation or boundaries, which is also looked after by different teams internally to Council and government bodies externally.

Thanks,

[REDACTED]

## Appendix 2: Amendment C152frn Explanatory Report

5R Overport Road, Frankston	021znMap07	Rezone from Commercial 1 Zone (C1Z) to Public Park and Recreation Zone (PPRZ)	The C1Z does not align with the use of the site which is Public Open space. Rezoning will reflect the use and ownership.
28 Nepean Highway, Seaford	002znMap01	Rezone from Public Use Zone (PUZ) to General Residential Zone (GRZ3)	The PUZ does not align with the use of the site which is residential. Rezoning will reflect the use and ownership.
600N Nepean Highway, Frankston	031znMaps04_07	Rezone from Special Use Zone – Schedule 3 (SUZ3) to Public Conservation and Recreation Zone (PCRZ)	The SUZ3 expired on 1 November 2022, and is now redundant.  The zoning is inconsistent with the balance of zoning within Port Phillip Bay.  Rezoning to PCRZ will reflect the use and ownership of the site.
Units 1-12, 46-47 Nepean Highway, Seaford	002znMap01	Partially rezones from Public Conservation and Resource Zone (PCRZ) to General Residential Zone (GRZ3)	A section of this property is zoned incorrectly. Rezoning will align the zone to the property boundary.
48 Nepean Highway, Seaford	002znMap01	Partially rezone from Public Conservation and Resource Zone (PCRZ) to General Residential Zone (GRZ3)	A section of this property is zoned incorrectly. Rezoning will align the zone to the property boundary.
50 Nepean Highway, Seaford	002znMap01	Partially rezone from Public Conservation and resource Zone (PCRZ) to General Residential Zone (GRZ3)	A section of this property is zoned incorrectly. Rezoning will align the zone to the property boundary.
Units 1-3, 1 Bendemere Rise, Langwarrin	018znMap06	Partially rezones from Commercial 1 Zone (C1Z) to Residential 1 Zone (R1Z)	A section of this property is zoned incorrectly. Rezoning will align the zone to the property boundary.
1R Bendemere Rise, Langwarrin	018znMap06	Partially rezones from Commercial 1 Zone (C1Z) to Residential 1 Zone (R1Z)	A section of this property is zoned incorrectly. Rezoning will align the zone to the property

### Appendix 3: Parks Victoria e-mail (redacted) in relation to 13N Jeremy Way



Strategic Planning >> City Futures  
Civic Centre >> 30 Davey Street Frankston >> PO Box 490 Frankston VIC 3199  
Telephone: [REDACTED]  
frankston.vic.gov.au >> [REDACTED]  
[Facebook icon] [Twitter icon] [YouTube icon] [Instagram icon]



*Frankston City Council acknowledges and pays respect to the Bunurong People, the Traditional Custodians of these lands and waters.*

From: [REDACTED]  
Sent: Tuesday, March 18, 2025 9:56 AM  
To: [REDACTED]  
Cc: [REDACTED]  
Subject: RE: [SEC=OFFICIAL]RE: Planning Scheme Amendment C165fran

OFFICIAL

Hi [REDACTED]

Comments in red below to close the loop. Thanks again for accepting our late submission.

If you have any questions please give me a call. Really appreciate you getting in touch.

Kind regards, [REDACTED]

[REDACTED] | Southern and Maritime Region | Parks Victoria  
Available Monday - Wednesday  
Parks Victoria [www.parks.vic.gov.au](http://www.parks.vic.gov.au)

'I respectfully acknowledge the Traditional Owners of the country throughout Victoria and acknowledge the ongoing living culture of Aboriginal people'

OFFICIAL

From: [REDACTED]  
Sent: Tuesday, 18 March 2025 8:53 AM  
[REDACTED]  
Subject: [SEC=OFFICIAL]RE: Planning Scheme Amendment C165fran

## OFFICIAL

Caution! This message was sent from outside of your organisation. Take care when clicking any links or opening attachments.

Hi [REDACTED]

In response to your submission.

### Zoning

It is acknowledged that is Parks Victoria preference for public land zoning to reflect the purpose for which the land is reserved and managed. Council officer's support this with regards to the Pines Flora and Fauna Reserve and the Frankston Nature Conservation Reserve as per the details in the amendment documentation.

**Noted**

### Frankston Nature Conservation Reserve

The parcels mentioned make up 13N Jeremy Way as per below. This includes an extra parcel to the south (Should this be included?). These parcel were not included in the supporting documentation and the neighbours have not been notified. Would you be satisfied if these parcels were included in the next corrections amendment which is currently being prepared?

**Yes please the little parcel south western end of Jeremy Way should also be included. I missed this one! Good pick up. Appreciate that this will be picked up in the next corrections amendment rather than C165fran noting the neighbours have not been notified.**



Pines Flora and Fauna Reserve

In regards to the additional parcels for the Pines Flora and Fauna Reserve please see attached email from DEECA supporting the rezoning prior to exhibition of the amendment. Is this information satisfactory to alleviate your concern? No concern, rather was just flagging the road works and additional parcels appointed to PV as part of the Pines Incase it was not clear. If DEECA are supportive that's fine as they are the current land manager.

Regards

[REDACTED]



[REDACTED]  
Strategic Planning >> City Futures  
Civic Centre >> 30 Davey Street Frankston >> PO Box 490 Frankston VIC 3199  
Telephone: [REDACTED]  
frankston.vic.gov.au >> [REDACTED]  
[Facebook icon] [Twitter icon] [YouTube icon] [Instagram icon]



*Frankston City Council acknowledges and pays respect to the Bunurong People, the Traditional Custodians of these lands and waters.*

OFFICIAL

From: [REDACTED]  
Sent: Monday, March 17, 2025 1:50 PM  
To: [REDACTED]  
Cc: [REDACTED]  
Subject: RE: Planning Scheme Amendment C165frn

OFFICIAL

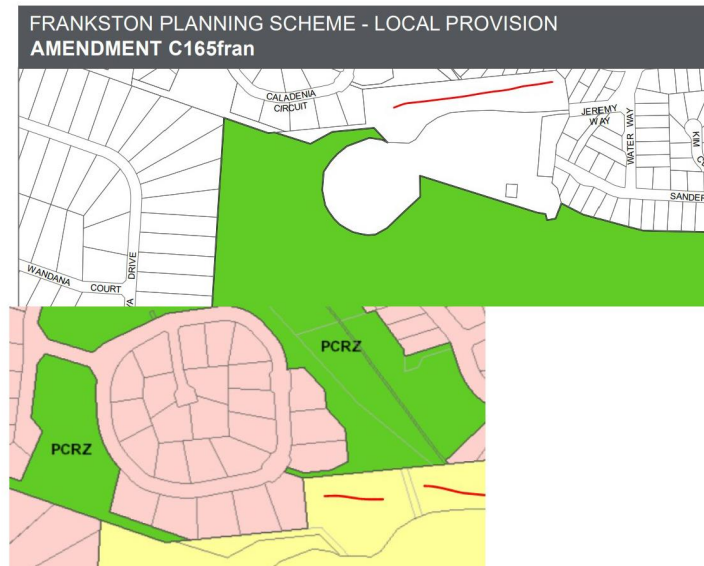
Hi [REDACTED]

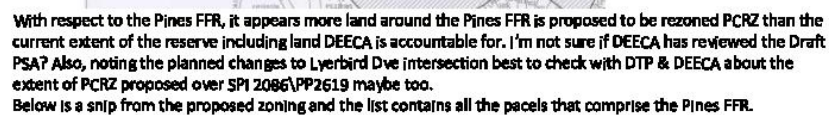
Thanks for getting in touch and apologies - I did see the Draft PSA consultation and somehow completely missed formally responding. I'm very sorry! Please accept this email as Parks Victoria's submission to Draft c165frn. I note that you flagged Council can accept submissions until a decision is made.

As discussed, it is PV's preference the public land zoning is reflective of the purpose for which the land is reserved and subsequently managed. This is reflected in our submission to c152frn dated 02 November 2023.

As noted, permission is required under the relevant crown land legislation to facilitate third party use / development in addition to other possible statutory approvals. For both the Pines FFR and the Frankston NCR it would be under the Crown Land (Reserves) Act 1978.

As flagged in our conversation, a review of the proposed extent of the PCRZ for the Frankston NCR – it does not appear to cover the whole extent of the reserve. The draft mapping indicates parcels 2026\PP2619 & 2027\PP2619 in the north have been missed. Red mark up on proposed existing zone maps.





9





There are 20 Related land assets in the list (242.2973 Ha▼)


1

All	Map	Code	Name	Parties
<input type="checkbox"/>		42P\PP2619	PART OF THE PINES FLORA & FAUNA RESERVE	PARKS VICTORIA
<input type="checkbox"/>		42G\PP2619	PART OF THE PINES FLORA & FAUNA RESERVE	PARKS VICTORIA
<input type="checkbox"/>		2060\PP2619		PARKS VICTORIA
<input type="checkbox"/>		2059\PP2619		PARKS VICTORIA
<input type="checkbox"/>		42M\PP2619	PART OF THE PINES FLORA & FAUNA RESERVE	PARKS VICTORIA
<input type="checkbox"/>		2052\PP2619		PARKS VICTORIA
<input type="checkbox"/>		2055\PP2619		PARKS VICTORIA
<input type="checkbox"/>		42N\PP2619	PART OF THE PINES FLORA & FAUNA RESERVE	PARKS VICTORIA

<input type="checkbox"/>		2147\PP2619		ROADS CORPORATION
<input type="checkbox"/>		42Q\PP2619	PART OF THE PINES FLORA & FAUNA RESERVE	PARKS VICTORIA
<input type="checkbox"/>		2085\PP2619		SECRETARY TO THE DEPARTMENT OF DEVELOPMENT, JOBS, TRANSPORT AN
<input type="checkbox"/>		2053\PP2619		PARKS VICTORIA
<input type="checkbox"/>		2250\PP2619		PARKS VICTORIA

Happy to discuss. Thanks, [REDACTED]

[REDACTED]  
[REDACTED] | Southern and Maritime Region | Parks Victoria  
T [REDACTED]  
Available Monday - Wednesday  
Parks Victoria [www.parks.vic.gov.au](http://www.parks.vic.gov.au)

 I respectfully acknowledge the Traditional Owners of the country throughout Victoria and acknowledge the ongoing living culture of Aboriginal people'

OFFICIAL

From: [REDACTED]  
Sent: Monday, 17 March 2025 10:08 AM  
[REDACTED]  
Subject: Planning Scheme Amendment C165frn

Caution! This message was sent from outside of your organisation. Take care when clicking any links or opening attachments.

Hi [REDACTED]

Thank you for your time on the phone this morning.

Please see the extent of the propose recycled water pipeline. It is the red line on the below image.



Regards



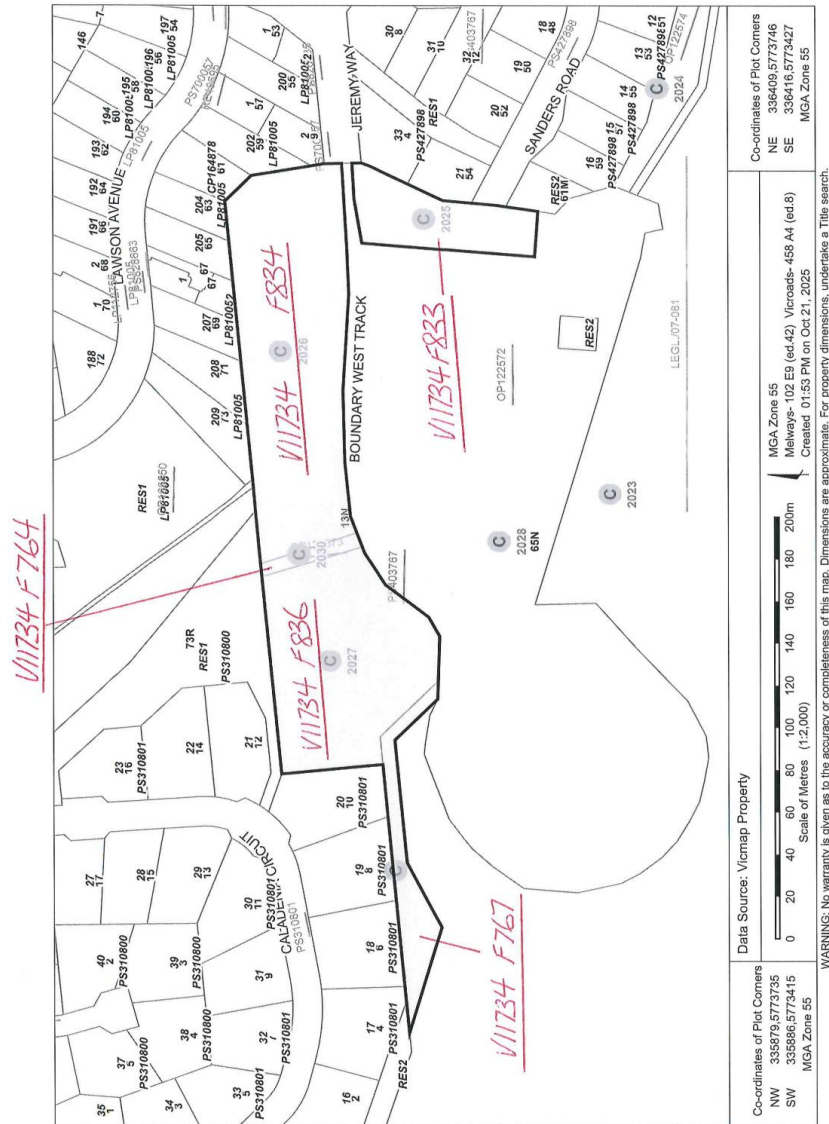
Strategic Planning >> City Futures  
Civic Centre >> 30 Davey Street Frankston >> PO Box 490 Frankston VIC 3199  
Telephone: [REDACTED]  
frankston.vic.gov.au >> [REDACTED]



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Appendix 4 – Land Title for 13N Jeremy Way





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**CROWN FOLIO STATEMENT**

Page 1 of 1

VOLUME 11734 FOLIO 764  
No CoFT exists

Security no : 124129184824R  
Produced 21/10/2025 01:37 PM

CROWN FOLIO

**LAND DESCRIPTION**

Crown Allotment 2030 Parish of Frankston.  
Created by instrument MI094853F 06/08/2016

**CROWN LAND ADMINISTRATOR**

SOUTH EAST WATER CORPORATION of 20 CORPORATE DRIVE HEATHERTON VIC 3202  
AW570745B 22/02/2023

**STATUS, ENCUMBRANCES AND NOTICES**

RESERVATION MI094855B 06/08/2016  
TEMPORARY  
WATER SUPPLY  
OP122573

**DIAGRAM LOCATION**

SEE CD038882G FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

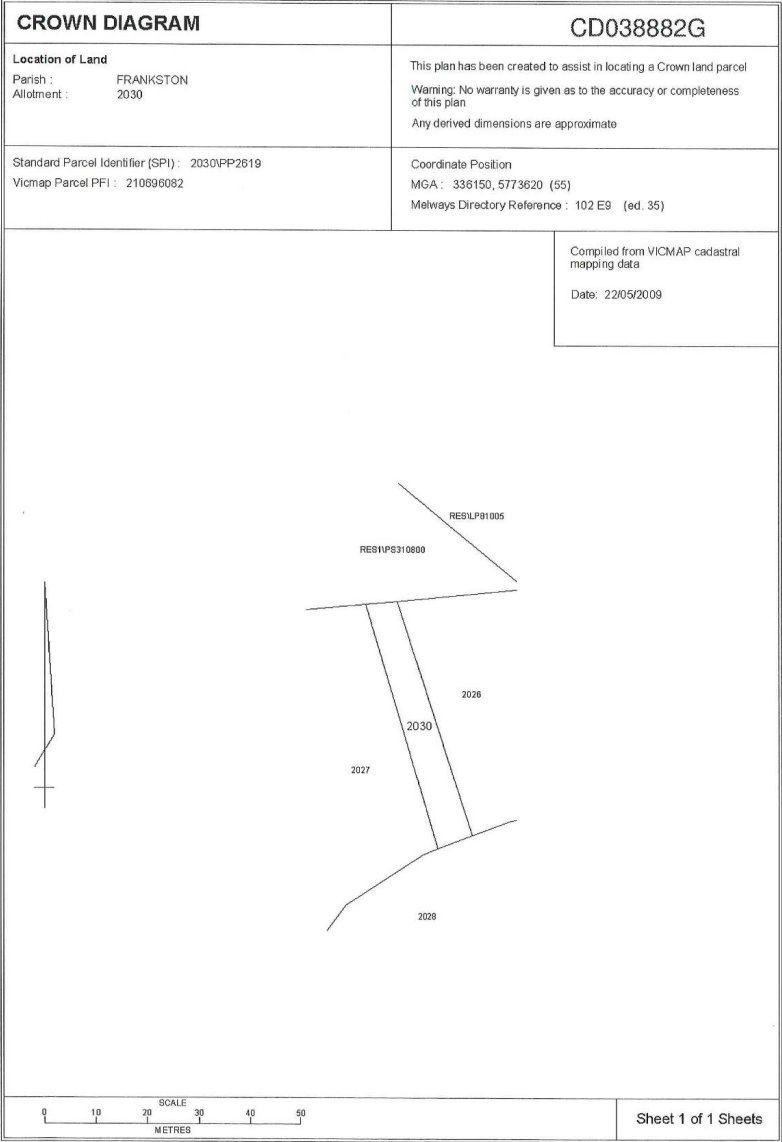
-----END OF CROWN FOLIO STATEMENT-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 13N JEREMY WAY FRANKSTON SOUTH VIC 3199

DOCUMENT END

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Page 1 of 1

VOLUME 11734 FOLIO 767  
No CoT exists

Security no : 124129184572Q  
Produced 21/10/2025 01:34 PM

CROWN FOLIO

**LAND DESCRIPTION**

Crown Allotment 2029 Parish of Frankston.  
Created by instrument MI094862E 06/08/2016

**CROWN LAND ADMINISTRATOR**

SOUTH EAST WATER CORPORATION of 20 CORPORATE DRIVE HEATHERTON VIC 3202  
AW570538G 22/02/2023

**STATUS, ENCUMBRANCES AND NOTICES**

RESERVATION MI094864A 06/08/2016  
TEMPORARY  
WATER SUPPLY  
OP122573

**DIAGRAM LOCATION**

SEE CD038885A FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

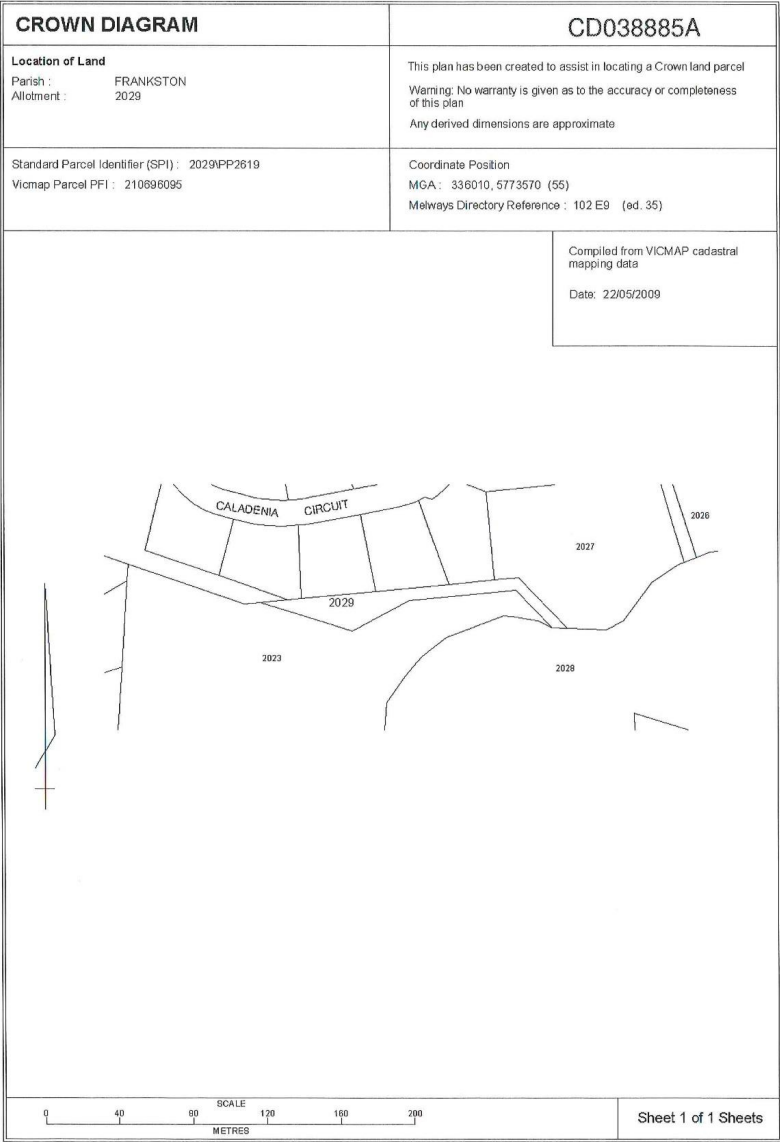
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VOLUME 11734 FOLIO 833  
No Coft exists

Security no : 124129184976C  
Produced 21/10/2025 01:40 PM

CROWN FOLIO

**LAND DESCRIPTION**

Crown Allotment 2025 Parish of Frankston.  
Created by instrument MI095034P 06/08/2016

**CROWN LAND ADMINISTRATOR**

PARKS VICTORIA of 1103 HIGH STREET ROAD WANTIRNA SOUTH VICTORIA, 3151  
AQ256296K 18/09/2017

**STATUS, ENCUMBRANCES AND NOTICES**

RESERVATION MI095036K 06/08/2016  
PERMANENT  
PUBLIC PURPOSES (NATURE CONSERVATION)  
LEGL11-186

**DIAGRAM LOCATION**

SEE CD038951P FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

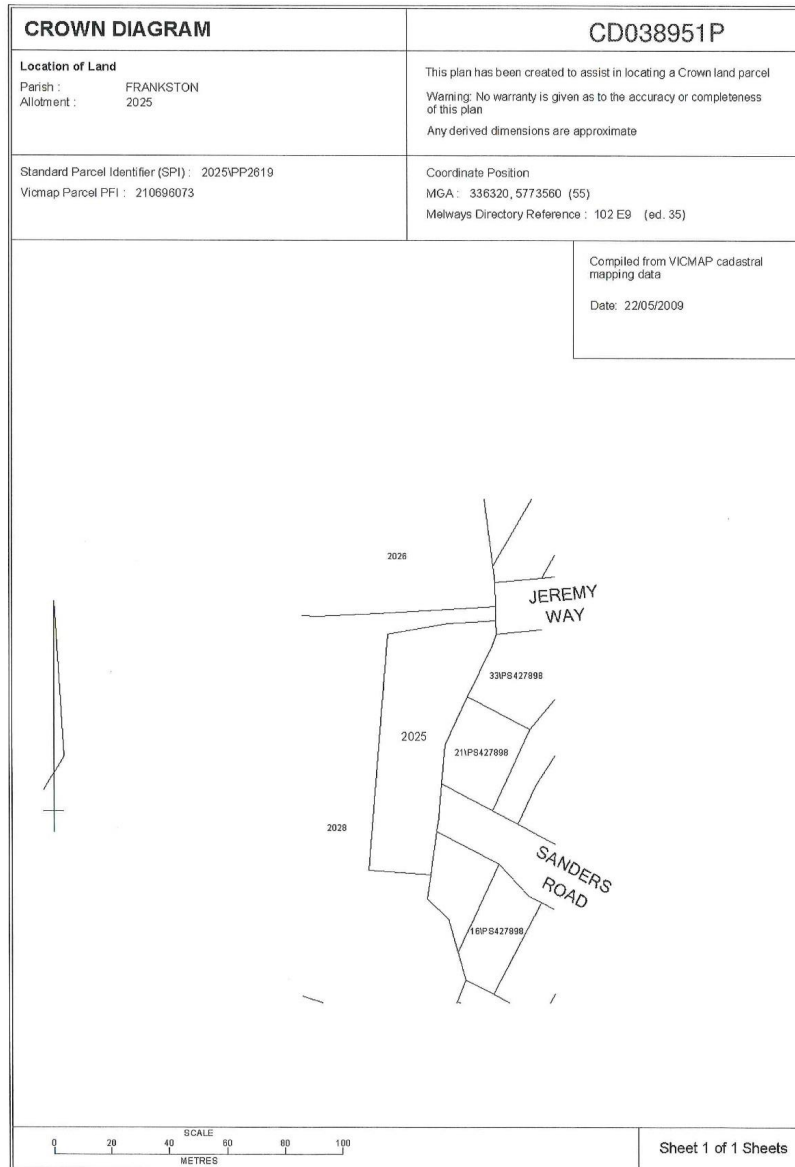
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VOLUME 11734 FOLIO 834  
No CofT exists

Security no : 124129184895P  
Produced 21/10/2025 01:38 PM

CROWN FOLIO

**LAND DESCRIPTION**

Crown Allotment 2026 Parish of Frankston.  
Created by instrument MI095037H 06/08/2016

**CROWN LAND ADMINISTRATOR**

PARKS VICTORIA of 1103 HIGH STREET ROAD WANTIRNA SOUTH VICTORIA, 3151  
AQ256296K 18/09/2017

**STATUS, ENCUMBRANCES AND NOTICES**

RESERVATION MI095039D 06/08/2016  
PERMANENT  
PUBLIC PURPOSES (NATURE CONSERVATION)  
LEGL11-186

**DIAGRAM LOCATION**

SEE CD038952M FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

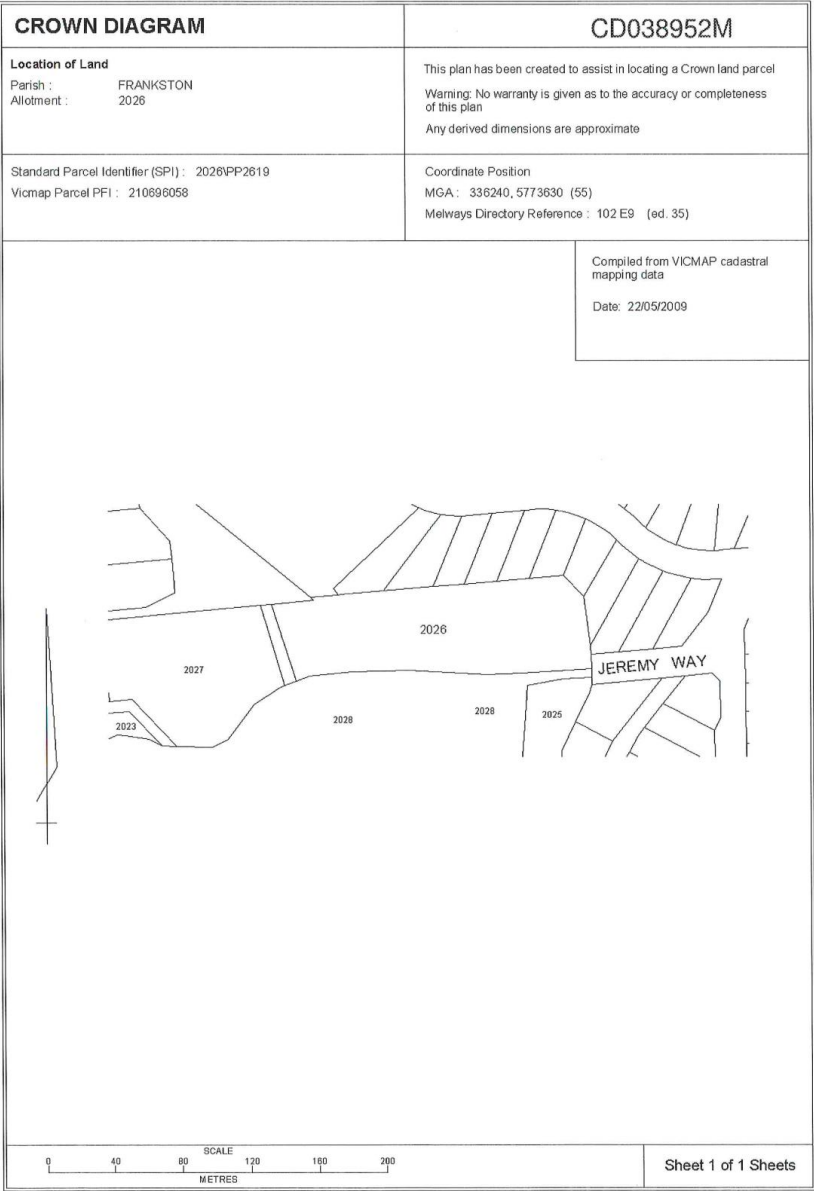
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Additional information: (not part of the Crown Folio Statement)

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Page 1 of 1

VOLUME 11734 FOLIO 836  
No Coft exists

Security no : 124129184692K  
Produced 21/10/2025 01:36 PM

CROWN FOLIO

**LAND DESCRIPTION**

Crown Allotment 2027 Parish of Frankston.  
Created by instrument MI095043N 06/08/2016

**CROWN LAND ADMINISTRATOR**

PARKS VICTORIA of 1103 HIGH STREET ROAD WANTIRNA SOUTH VICTORIA, 3151  
AQ256296K 18/09/2017

**STATUS, ENCUMBRANCES AND NOTICES**

RESERVATION MI095045J 06/08/2016  
PERMANENT  
PUBLIC PURPOSES (NATURE CONSERVATION)  
LEGL11-186

**DIAGRAM LOCATION**

SEE CD038954H FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF CROWN FOLIO STATEMENT-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 13N JEREMY WAY FRANKSTON SOUTH VIC 3199

DOCUMENT END



## Appendix 5: DTP/DEECA e-mail (redacted) in relation to 495 Cranbourne – Frankston Road, Langwarrin

**From:** Planning and Environment Assessment (DEECA) (DEECA)  
<pe.assessment@deeca.vic.gov.au>  
**Sent:** Tuesday, 23 September 2025 11:43 AM  
**To:** Anita Ye (she/her)  
**Cc:** Robert Lean (he/him)  
**Subject:** OFFICIAL: RE: Enquiry about 495 Cranbourne-Frankston Road, Langwarrin

Hi [REDACTED]

Thank you for reaching out about rezoning of this parcel.

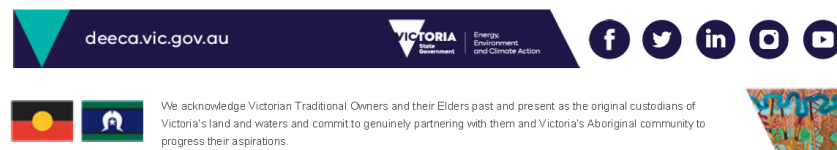
I have consulted our Crown land team who have advised that despite the parcel being surrendered to the Crown, this was implemented through planning processes where no land manager was identified (and therefore no active management of the land).

We therefore have no preference over the zoning as there is no intended use or development of the land in the near future, and defer to Council for the most appropriate public zoning for the land. It seems PCRZ may be the most appropriate public zone against the original aims of the DPO7, however I'm not sure if this could have unintended consequences should anything change with the management of the Crown land parcel in the future.

Regards,

**Team Leader, Planning Services (Central-East) | Planning and Environment Assessment  
Regions, Environment, Climate Action and First Peoples | Department of Energy, Environment and Climate Action**

Sending to you from Bunurong Country  
609 Burwood Highway, Knoxfield VIC 3180



OFFICIAL

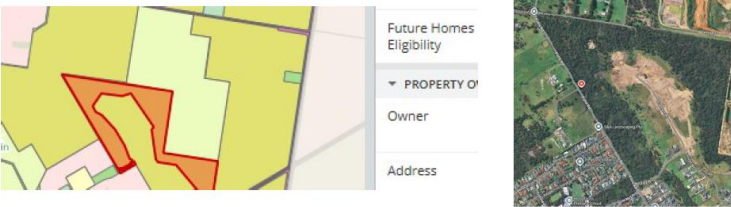
**Sent:** Tuesday, 9 September 2025 3:24 PM  
**To:** Planning and Environment Assessment (DEECA) (DEECA) <pe.assessment@deeca.vic.gov.au>  
**Subject:** Enquiry about 495 Cranbourne-Frankston Road, Langwarrin

Good afternoon,

I was hoping you were able to help me with a matter today relating to 495 Cranbourne-Frankston Road, Langwarrin (the site). Frankston City Council is currently in the process of doing a Corrections Amendment which corrects errors in the Frankston planning scheme.

We have become aware the site has been transferred to the Crown as required by Development Plan, Schedule 7 (DPO7). The site is currently in Rural Conservation Zone, Schedule 4 (RCZ4) – but since it has been transferred to public ownership we are seeking guidance on what Public Land Zone to rezone it to.

This is the site and the property owner information as seen on our GIS platform. As you can see, the site is highly vegetated with thick canopy cover.



We would very much appreciate any input you have. Looking forward to your reply!

Warm regards,

Strategic Planning >> City Futures

Civic Centre >> 30 Davey Street Frankston >> PO Box 490 Frankston VIC 3199



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## Appendix 6: Land Title for 495 Cranbourne – Frankston Road, Langwarrin

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### CROWN POLIO STATEMENT

VOLUME 12586 POLIO 382  
No Coff exists

Security no : 124126211498S  
Produced 15/07/2025 10:55 AM

### CROWN POLIO

#### LAND DESCRIPTION

Crown Allotment 2019 Parish of Langwarrin.  
PARENT TITLE Volume 11864 Folio 594  
Created by instrument AY645398N 29/11/2024

### CROWN LAND ADMINISTRATOR

SECRETARY TO THE DEPARTMENT OF ENERGY, ENVIRONMENT AND CLIMATE ACTION of 8  
NICHOLSON STREET EAST MELBOURNE VIC 3002  
AY645398N 29/11/2024

### STATUS, ENCUMBRANCES AND NOTICES

#### DIAGRAM LOCATION

SEE OP126547K FOR FURTHER DETAILS AND BOUNDARIES

#### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF CROWN POLIO STATEMENT-----|-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 495 CRANBOURNE-FRANKSTON ROAD LANGWARRIN VIC 3910

DOCUMENT END



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#### **CROWN FOLIO STATEMENT**

Page 1 of 1

VOLUME 12586 FOLIO 381  
No CoFT exists

Security no : 124127694460B  
Produced 02/09/2025 12:16 PM

CROWN FOLIO

#### **LAND DESCRIPTION**

Crown Allotment 2018 Parish of Langwarrin.  
PARENT TITLE Volume 11864 Folio 594  
Created by instrument AY645398N 29/11/2024

#### **CROWN LAND ADMINISTRATOR**

SECRETARY TO THE DEPARTMENT OF ENERGY, ENVIRONMENT AND CLIMATE ACTION of 8  
NICHOLSON STREET EAST MELBOURNE VIC 3002  
AY645398N 29/11/2024

#### **STATUS, ENCUMBRANCES AND NOTICES**

#### **DIAGRAM LOCATION**

SEE OP126547K FOR FURTHER DETAILS AND BOUNDARIES

#### **ACTIVITY IN THE LAST 125 DAYS**

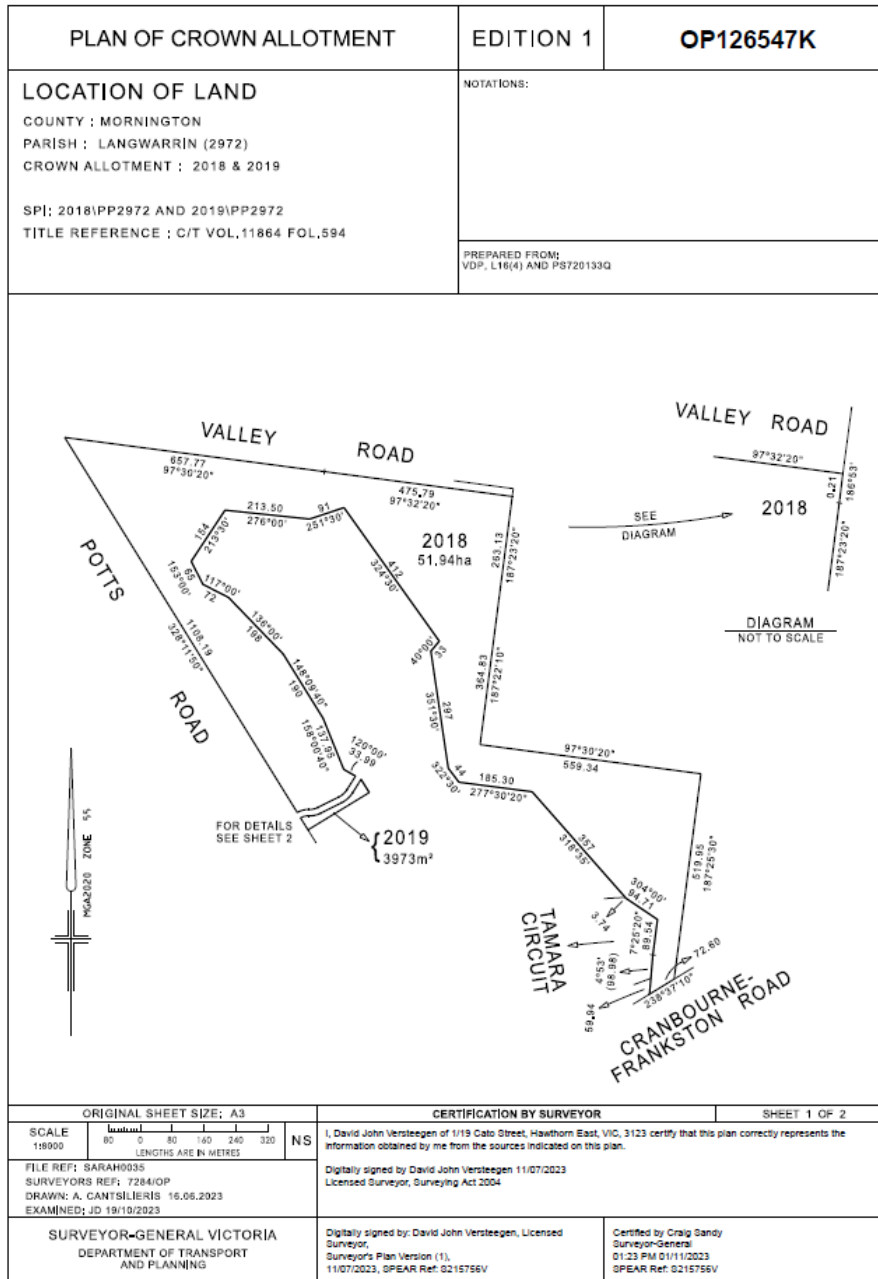
NIL

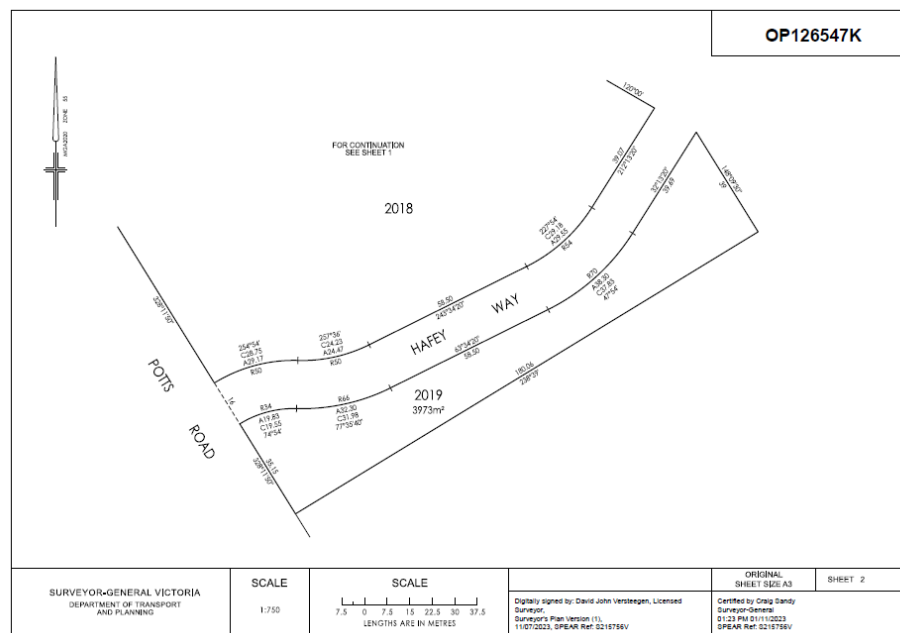
-----END OF CROWN FOLIO STATEMENT-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 495 CRANBOURNE-FRANKSTON ROAD LANGWARRIN VIC 3910

DOCUMENT END





## Appendix 7: Land Title for 90 Bardia Avenue, Seaford

### 90 BARDIA AVENUE SEAFORD

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**  
VOLUME 10074 FOLIO 611 Security no : 1241291727380  
Produced 21/10/2025 10:48 AM

**LAND DESCRIPTION**  
Lot 2 on Plan of Subdivision 3115475.  
PARENT TITLES :  
Volume 08150 Folio 588      Volume 09402 Folio 278      Volume 10064 Folio 349

**REGISTERED PROPRIETOR**  
Estate Fee Simple  
Sole Proprietor  
FRANKSTON CITY COUNCIL of 30 DAVEY STREET FRANKSTON VIC 3199  
[AN650565M](#) 16/03/2017

**ENCUMBRANCES, CAVEATS AND NOTICES**  
COVENANT (as to whole or part of the land) in instrument [2732626](#)  
COVENANT (as to whole or part of the land) in instrument [A176494](#)  
  
Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**  
SEE [PS3115475](#) FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**  
  
NIL  
  
-----END OF REGISTER SEARCH STATEMENT-----  
  
Additional information: (not part of the Register Search Statement)  
  
Street Address: "FRANKSTON BASKETBALL STADIUM" 90 BARDIA AVENUE SEAFORD VIC 3198

**ADMINISTRATIVE NOTICES**  
NIL  
  
eCT Control REGISTRAR OF TITLES  
Effective from 12/06/2025  
  
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## Appendix 8: Land Title for 30 Wells Road, Seaford

### 39 WELLS ROAD SEAFORD

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958  
VOLUME 12327 FOLIO 219 Security no : 124129172414F  
Produced 21/10/2025 10:43 AM

LAND DESCRIPTION  
Lot 1 on Plan of Subdivision 311547S.  
PARENT TITLE Volume 10074 Folio 610  
Created by instrument AU623204P 27/07/2021

REGISTERED PROPRIETOR  
Estate Fee Simple  
Sole Proprietor  
FRANKSTON CITY COUNCIL of 30 DAVEY STREET FRANKSTON VIC 3199  
AU623204P 27/07/2021

#### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION  
SEE [PS311547S](#) FOR FURTHER DETAILS AND BOUNDARIES

#### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 39 WELLS ROAD SEAFORD VIC 3198

ADMINISTRATIVE NOTICES  
NIL

eCT Control REGISTRAR OF TITLES  
Effective from 12/06/2025

DOCUMENT END



## Imaged Document Cover Sheet

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Document Type	<b>plan</b>
Document Identification	<b>PS311547S</b>
Number of Pages (excluding this cover sheet)	<b>3</b>
Document Assembled	<b>21/10/2025 10:45</b>

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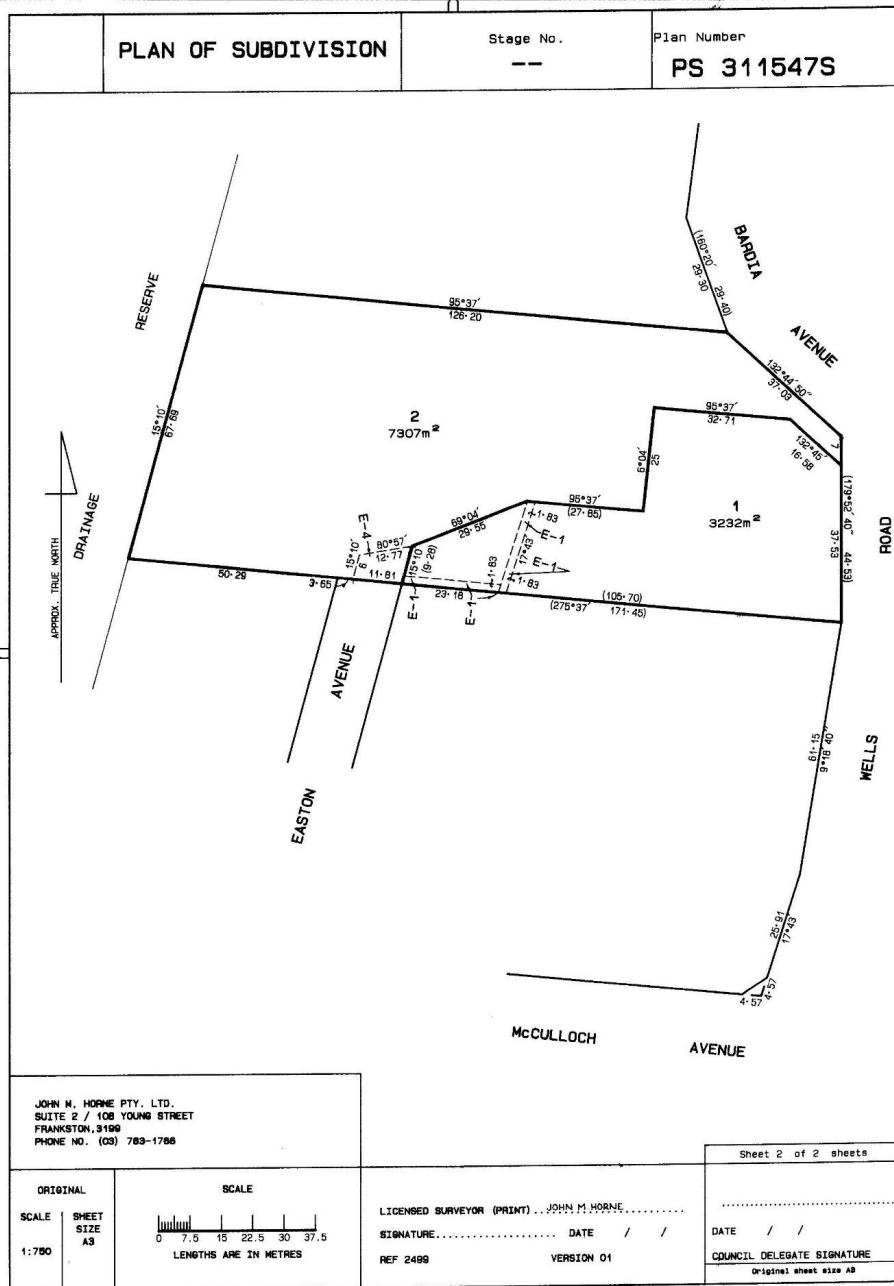
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<h2 style="margin: 0;">PLAN OF SUBDIVISION</h2>		STAGE NO. --	LTQ use only  <b>EDITION 2</b>	Plan Number  <b>PS 311547S</b>															
<p style="text-align: center;">Location of Land</p> <p>Parish: FRANKSTON</p> <p>Township: -----</p> <p>Section: A</p> <p>Crown Allotments: 50 &amp; 51(Part)</p> <p>Crown Portion: -----</p> <p>LTO Base Record: CHART 8 (2619)</p> <p>Title References: Vol.10064 Fol.349 Vol.8150 Fol.588 Vol.9402 Fol.278</p> <p>Leat Plan Reference: L.P.22224</p> <p>Postal Address: 36 WELLS ROAD, SEAFORD, 3198 (at time of subdivision)</p> <p>AMG Co - ordinates E 336 360 Zone: 55 (of approx. centre of land in plan) N 5778 960</p>		<p style="text-align: center;">Council Certificate and Endorsement</p> <p>Council Name: City of Frankston Ref: 4179</p> <p>1. This plan is certified under section 8 of the Subdivision Act 1988.</p> <p>2. <del>This plan is certified under section 11 (7) of the Subdivision Act 1988.</del> <del>Date of original certification under section 8</del></p> <p>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.</p> <p style="text-align: center;">OPEN SPACE</p> <p>(i) A requirement for public open space under section 16 of the Subdivision Act 1988 has not been made.</p> <p>(ii) <del>The requirement has been satisfied.</del></p> <p>(iii) <del>The requirement is to be satisfied in Stage</del></p> <p>Council Delegate Council Seal</p> <p>Date 7 / 10 / 91</p> <p>Re - certified under section 11(7) of the Subdivision Act 1988</p> <p>Council Delegate Council Seal</p> <p>Date / /</p>																	
<p style="text-align: center;">Vesting of Roads and / or Reserves</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">Identifier</th> <th style="width: 50%;">Council / Body / Person</th> </tr> <tr> <td style="height: 100px; vertical-align: top;">NIL</td> <td style="height: 100px; vertical-align: top;">NIL</td> </tr> </table>		Identifier	Council / Body / Person	NIL	NIL	<p style="text-align: center;">Notations</p> <p>Staging This is not a staged subdivision Planning Permit No.</p> <p>Depth Limitation</p>													
Identifier	Council / Body / Person																		
NIL	NIL																		
<p style="text-align: center;">Survey</p> <p>This plan is based on survey</p> <p>This survey has been connected to permanent marks no(s) 355 &amp; 484 In Proclaimed Survey Area No. 16</p>		<p style="text-align: center;">Statement of Compliance / Exemption Statement</p> <p>Received <input checked="" type="checkbox"/></p> <p>Date 22 / 11 / 91</p>																	
<p style="text-align: center;">Easement Information</p> <p>Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)</p>		<p style="text-align: center;">LTO use only</p> <p>PLAN REGISTERED</p> <p>TIME 9:30 am</p> <p>DATE 27 / 8 / 92</p> <p><i>John L. Wilson</i> Assistant Registrar of Titles</p> <p style="text-align: center;">Sheet 1 of 2 Sheets</p>																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 15%;">Easement Reference</th> <th style="width: 25%;">Purpose</th> <th style="width: 15%;">Width (Metres)</th> <th style="width: 20%;">Origin</th> <th style="width: 25%;">Land Benefited / In Favour Of</th> </tr> <tr> <td>E-1</td> <td>DRAINAGE &amp; SEWERAGE</td> <td>1.83</td> <td>LP22224</td> <td>LOTS ON LP22224</td> </tr> <tr> <td>E-4</td> <td>CARRIAGEWAY</td> <td>SEE DIAG.</td> <td>THIS PLAN</td> <td>LOT 1 ON THIS PLAN</td> </tr> </table>		Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of	E-1	DRAINAGE & SEWERAGE	1.83	LP22224	LOTS ON LP22224	E-4	CARRIAGEWAY	SEE DIAG.	THIS PLAN	LOT 1 ON THIS PLAN	<p style="text-align: center;">LTO use only</p> <p>PLAN REGISTERED</p> <p>TIME 9:30 am</p> <p>DATE 27 / 8 / 92</p> <p><i>John L. Wilson</i> Assistant Registrar of Titles</p> <p style="text-align: center;">Sheet 1 of 2 Sheets</p>		
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour Of															
E-1	DRAINAGE & SEWERAGE	1.83	LP22224	LOTS ON LP22224															
E-4	CARRIAGEWAY	SEE DIAG.	THIS PLAN	LOT 1 ON THIS PLAN															
<p>JOHN M. HORNE PTY. LTD. SUITE 2 / 108 YOUNG STREET FRANKSTON, 3190 PHONE NO. (08) 783 - 1786</p>		<p style="text-align: center;">LICENSED SURVEYOR (PRINT) ... JOHN M. HORNE ...</p> <p>SIGNATURE..... DATE / /</p> <p>REF 2400 VERSION Q1</p>																	



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[illegible]

## Appendix 9: Land Title for 620 McClelland Drive, Langwarrin



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### REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09379 POLIO 017

Security no : 124129179436X  
Produced 21/10/2025 12:17 PM

#### LAND DESCRIPTION

Lot 1 on Title Plan 180226B.  
PARENT TITLE Volume 08404 Folio 186  
Created by instrument H926277 31/03/1980

#### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
LEADON GROUP PTY LTD of 260 NORTH ROAD LANGWARRIN VIC 3910  
AQ951175W 24/04/2018

#### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AQ951176U 24/04/2018  
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

#### DIAGRAM LOCATION

SEE TP180226B FOR FURTHER DETAILS AND BOUNDARIES

#### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 620 MCCLELLAND DRIVE LANGWARRIN VIC 3910

#### ADMINISTRATIVE NOTICES

NIL

eCT Control 15772H COMMONWEALTH BANK OF AUSTRALIA - COMMERCIAL  
Effective from 24/04/2018

DOCUMENT END



## Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>TP180226B</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>21/10/2025 13:48</b>

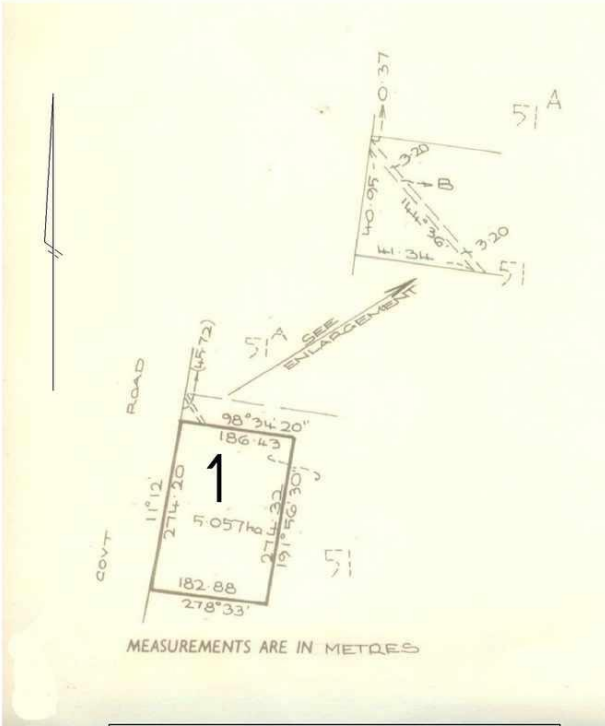
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TITLE PLAN		EDITION 1	TP 180226B
<div>Location of Land</div> <div>Parish: LANGWARRIN</div> <div>Township:</div> <div>Section:</div> <div>Crown Allotment: 51 (PT)</div> <div>Crown Portion:</div> <div>Last Plan Reference:</div> <div>Derived From: VOL 9379 FOL 017</div> <div>Depth Limitation: 45.72 m</div>		<div>Notations</div> <div>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</div>	
<div>Description of Land / Easement Information</div> <div>all that piece of land in the Parish of Langwarrin- - - - -</div> <div>County of Mornington being part of Crown Allotment 51 which land is shown - -</div> <div>enclosed by continuous lines on the map hereon TOGETHER WITH a right to use -</div> <div>the land shown marked B on the said map for drainage and sewerage purposes- -</div>		<div>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT.</div> <div>COMPILED: 08/10/1999</div> <div>VERIFIED: AA</div>	
<div></div>			
<div>TABLE OF PARCEL IDENTIFIERS</div> <div>WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</div> <div>PARCEL 1 = CA 51 (PT)</div>			
<div>LENGTHS ARE IN METRES</div>		<div>Metres = 0.3048 x Feet</div> <div>Metres = 0.201168 x Links</div>	<div>Sheet 1 of 1 sheets</div>

## Appendix 10: Table of B1Z, B2Z and B5Z mapping updates

Table of Business 1 Zone, Business 2 Zone and Business 5 Zone to be rezoned to Commercial 1 Zone		
Current Zone	Proposed Zone	Address
B1Z	C1Z	2 Addicott Street, Frankston
B1Z	C1Z	2 Allen Crescent, Langwarrin
B1Z	C1Z	4 Allen Crescent, Langwarrin
B1Z	C1Z	13/2 Allington Place, Langwarrin
B1Z	C1Z	29 Allington Place, Langwarrin
B1Z	C1Z	Cranbourne Link North 2r Allington Place, Langwarrin
B1Z	C1Z	2s Allington Place, Langwarrin
B1Z	C1Z	Shop 9/110 Ashleigh Avenue, Frankston
B1Z	C1Z	112 Ashleigh Avenue, Frankston
B1Z	C1Z	114 Ashleigh Avenue, Frankston
B1Z	C1Z	116 Ashleigh Avenue, Frankston
B1Z	C1Z	16 Athenium Court, Carrum Downs
B1Z	C1Z	20 Athenium Court, Carrum Downs
B1Z	C1Z	22 Athenium Court, Carrum Downs
B1Z	C1Z	Athenium Link 24r Athenium Court, Carrum Downs
B1Z	C1Z	26 Athenium Court, Carrum Downs
B1Z	C1Z	136 Austin Road, Seaford
B1Z	C1Z	2/136a Austin Road, Seaford
B1Z	C1Z	138 Austin Road, Seaford
B1Z	C1Z	140 Austin Road, Seaford
B1Z	C1Z	2/142 Austin Road, Seaford
B1Z	C1Z	144 Austin Road, Seaford
B1Z	C1Z	146 Austin Road, Seaford
B1Z	C1Z	148 Austin Road, Seaford
B1Z	C1Z	Com Prop 1/148-150 Austin Road, Seaford
B1Z	C1Z	3/148a Austin Road, Seaford
B1Z	C1Z	150 Austin Road, Seaford
B1Z	C1Z	152 Austin Road, Seaford
B1Z	C1Z	154 Austin Road, Seaford
B1Z	C1Z	Unit 2/156 Austin Road, Seaford
B1Z	C1Z	Unit 3/158 Austin Road, Seaford
B1Z	C1Z	315 Ballarto Road, Carrum Downs
B1Z	C1Z	Shop 22/317 Ballarto Road, Carrum Downs
B1Z	C1Z	319 Ballarto Road, Carrum Downs

B1Z	C1Z	325 Ballarto Road, Carrum Downs
B1Z	C1Z	8/335 Ballarto Road, Carrum Downs
B1Z	C1Z	335r Ballarto Road, Carrum Downs
B1Z	C1Z	335s Ballarto Road, Carrum Downs
B1Z	C1Z	81s Bardia Avenue, Seaford
B1Z	C1Z	Com Prop 61 Bayview Road, Frankston
B1Z	C1Z	2/127 Beach Street, Frankston
B1Z	C1Z	Shop 4/129-133 Beach Street, Frankston
B1Z	C1Z	135 Beach Street, Frankston
B1Z	C1Z	137 Beach Street, Frankston
B1Z	C1Z	139 Beach Street, Frankston
B1Z	C1Z	141 Beach Street, Frankston
B1Z	C1Z	143 Beach Street, Frankston
B1Z	C1Z	145 Beach Street, Frankston
B1Z	C1Z	203/147 Beach Street, Frankston
B1Z	C1Z	149 Beach Street, Frankston
B1Z	C1Z	2/151-153 Beach Street, Frankston
B1Z	C1Z	153a Beach Street, Frankston
B1Z	C1Z	207-213 Beach Street, Frankston
B1Z	C1Z	215 Beach Street, Frankston
B1Z	C1Z	217 Beach Street, Frankston
B1Z	C1Z	219 Beach Street, Frankston
B1Z	C1Z	221 Beach Street, Frankston
B1Z	C1Z	223 Beach Street, Frankston
B1Z	C1Z	225 Beach Street, Frankston
B1Z	C1Z	227 Beach Street, Frankston
B1Z	C1Z	229 Beach Street, Frankston
B1Z	C1Z	231 Beach Street, Frankston
B1Z	C1Z	233 Beach Street, Frankston
B1Z	C1Z	235 Beach Street, Frankston
B1Z	C1Z	1/235a Beach Street, Frankston
B1Z	C1Z	237 Beach Street, Frankston
B1Z	C1Z	239 Beach Street, Frankston
B1Z	C1Z	239a Beach Street, Frankston
B1Z	C1Z	241 Beach Street, Frankston
B1Z	C1Z	241a Beach Street, Frankston
B1Z	C1Z	241b Beach Street, Frankston

B1Z	C1Z	243 Beach Street, Frankston
B1Z	C1Z	245 Beach Street, Frankston
B1Z	C1Z	247 Beach Street, Frankston
B1Z	C1Z	247a Beach Street, Frankston
B1Z	C1Z	Community Support Frankston Inc 35 Beach Street, Frankston
B1Z	C1Z	41-45 Beach Street, Frankston
B1Z	C1Z	47 Beach Street, Frankston
B1Z	C1Z	Shop 4/49 Beach Street, Frankston
B1Z	C1Z	53 Beach Street, Frankston
B1Z	C1Z	53a Beach Street, Frankston
B1Z	C1Z	53b Beach Street, Frankston
B1Z	C1Z	53c Beach Street, Frankston
B1Z	C1Z	53d Beach Street, Frankston
B1Z	C1Z	53e Beach Street, Frankston
B1Z	C1Z	53f-53g Beach Street, Frankston
B1Z	C1Z	53h Beach Street, Frankston
B1Z	C1Z	Level 1, 237 Beach Street, Frankston
B1Z	C1Z	58 Bondi Avenue, Frankston
B1Z	C1Z	60 Bondi Avenue, Frankston
B1Z	C1Z	32 Brighton Street, Frankston South
B1Z	C1Z	3/34 Brighton Street, Frankston South
B1Z	C1Z	36 Brighton Street, Frankston South
B1Z	C1Z	1 Broughton Street, Seaford
B1Z	C1Z	2/35 Coogee Avenue, Frankston
B1Z	C1Z	Shop S210/330 Cranbourne Road, Frankston
B1Z	C1Z	4/330s Cranbourne Road, Frankston
B1Z	C1Z	2/332 Cranbourne Road, Frankston
B1Z	C1Z	336-338 Cranbourne Road, Frankston
B1Z	C1Z	115 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	Com Prop 117 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	117a Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	119 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	1/121 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	Shop 36/230 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	1/230s Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	240 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	244 Cranbourne-Frankston Road, Langwarrin



B1Z	C1Z	246 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	301 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	303 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	305 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	307 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	309 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	311 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	Shop 18/385 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	2/385s Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	387m Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	Cranbourne Link North 401r Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	14/15-19 Cricklewood Avenue, Frankston
B1Z	C1Z	10 Culcairn Drive, Frankston South
B1Z	C1Z	2 Culcairn Drive, Frankston South
B1Z	C1Z	4 Culcairn Drive, Frankston South
B1Z	C1Z	6 Culcairn Drive, Frankston South
B1Z	C1Z	8 Culcairn Drive, Frankston South
B1Z	C1Z	121-125 Dandenong Road East, Frankston
B1Z	C1Z	1-9r Dandenong Road East, Frankston
B1Z	C1Z	43 Excelsior Drive, Frankston North
B1Z	C1Z	45 Excelsior Drive, Frankston North
B1Z	C1Z	47 Excelsior Drive, Frankston North
B1Z	C1Z	49 Excelsior Drive, Frankston North
B1Z	C1Z	51 Excelsior Drive, Frankston North
B1Z	C1Z	53 Excelsior Drive, Frankston North
B1Z	C1Z	55 Excelsior Drive, Frankston North
B1Z	C1Z	55a Excelsior Drive, Frankston North
B1Z	C1Z	57 Excelsior Drive, Frankston North
B1Z	C1Z	57a Excelsior Drive, Frankston North
B1Z	C1Z	10 Fairway Street, Frankston
B1Z	C1Z	12 Fairway Street, Frankston
B1Z	C1Z	14 Fairway Street, Frankston
B1Z	C1Z	16 Fairway Street, Frankston
B1Z	C1Z	18 Fairway Street, Frankston
B1Z	C1Z	2 Fairway Street, Frankston
B1Z	C1Z	20 Fairway Street, Frankston
B1Z	C1Z	22 Fairway Street, Frankston

B1Z	C1Z	24 Fairway Street, Frankston
B1Z	C1Z	4/26-28 Fairway Street, Frankston
B1Z	C1Z	Com Prop 6 Fairway Street, Frankston
B1Z	C1Z	8 Fairway Street, Frankston
B1Z	C1Z	105c Fleetwood Crescent, Frankston South
B1Z	C1Z	13 Fleetwood Lane, Frankston South
B1Z	C1Z	8 Fleetwood Lane, Frankston South
B1Z	C1Z	30 Foot Street, Frankston
B1Z	C1Z	30a Foot Street, Frankston
B1Z	C1Z	10/32 Foot Street, Frankston
B1Z	C1Z	Rear 43 Foot Street, Frankston
B1Z	C1Z	43a Foot Street, Frankston
B1Z	C1Z	43b Foot Street, Frankston
B1Z	C1Z	43c Foot Street, Frankston
B1Z	C1Z	45 Foot Street, Frankston
B1Z	C1Z	47 Foot Street, Frankston
B1Z	C1Z	49 Foot Street, Frankston
B1Z	C1Z	51 Foot Street, Frankston
B1Z	C1Z	53 Foot Street, Frankston
B1Z	C1Z	55 Foot Street, Frankston
B1Z	C1Z	57 Foot Street, Frankston
B1Z	C1Z	23 Forest Drive, Frankston North
B1Z	C1Z	Eric Bell Reserve 28 Forest Drive, Frankston North
B1Z	C1Z	115 Franciscan Avenue, Frankston
B1Z	C1Z	117 Franciscan Avenue, Frankston
B1Z	C1Z	Shop 9/1095 Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	1095s Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	Vodafone Tower 1/1095t Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	Com Prop 1105 Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	Shop 5a/366 Frankston-Dandenong Road, Seaford
B1Z	C1Z	467 Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	493 Frankston-Dandenong Road, Carrum Downs
B1Z	C1Z	134 Frankston-Flinders Road, Frankston South
B1Z	C1Z	Shop 1/136 Frankston-Flinders Road, Frankston South
B1Z	C1Z	Telecommunications Tower 138 Frankston-Flinders Road, Frankston South
B1Z	C1Z	5/145 Frankston-Flinders Road, Frankston
B1Z	C1Z	Shop 1/147 Frankston-Flinders Road, Frankston

B1Z	C1Z	Shop 3/192 Frankston-Flinders Road, Frankston South
B1Z	C1Z	194 Frankston-Flinders Road, Frankston South
B1Z	C1Z	4 Gama Court, Frankston
B1Z	C1Z	5 Gama Court, Frankston
B1Z	C1Z	61 Gattinara Drive, Frankston
B1Z	C1Z	63 Gattinara Drive, Frankston
B1Z	C1Z	3/1-3 Golf Links Road, Frankston
B1Z	C1Z	Optus Tower 1/1t Golf Links Road, Frankston
B1Z	C1Z	3/5-7 Golf Links Road, Frankston
B1Z	C1Z	9 Golf Links Road, Frankston
B1Z	C1Z	Granite Reserve 46r Granite Drive, Langwarrin
B1Z	C1Z	Shop 49/100 Hall Road, Carrum Downs
B1Z	C1Z	3/100s Hall Road, Carrum Downs
B1Z	C1Z	Telstra Tower 2/100t Hall Road, Carrum Downs
B1Z	C1Z	Mcdonalds 90 Hall Road, Carrum Downs
B1Z	C1Z	298 Heatherhill Road, Frankston
B1Z	C1Z	Com Prop 300 Heatherhill Road, Frankston
B1Z	C1Z	300a Heatherhill Road, Frankston
B1Z	C1Z	300b Heatherhill Road, Frankston
B1Z	C1Z	300c Heatherhill Road, Frankston
B1Z	C1Z	300d Heatherhill Road, Frankston
B1Z	C1Z	300e Heatherhill Road, Frankston
B1Z	C1Z	44 Heatherhill Road, Frankston
B1Z	C1Z	44a Heatherhill Road, Frankston
B1Z	C1Z	Atm 44b Heatherhill Road, Frankston
B1Z	C1Z	46 Heatherhill Road, Frankston
B1Z	C1Z	46a Heatherhill Road, Frankston
B1Z	C1Z	48 Heatherhill Road, Frankston
B1Z	C1Z	48a Heatherhill Road, Frankston
B1Z	C1Z	48b Heatherhill Road, Frankston
B1Z	C1Z	50 Heatherhill Road, Frankston
B1Z	C1Z	50a Heatherhill Road, Frankston
B1Z	C1Z	50b Heatherhill Road, Frankston
B1Z	C1Z	52 Heatherhill Road, Frankston
B1Z	C1Z	52a Heatherhill Road, Frankston
B1Z	C1Z	52b Heatherhill Road, Frankston
B1Z	C1Z	54 Heatherhill Road, Frankston

B1Z	C1Z	Ground Flr 50c Heatherhill Road, Frankston
B1Z	C1Z	Level 1, 50c Heatherhill Road, Frankston
B1Z	C1Z	16 Hellenic Court, Carrum Downs
B1Z	C1Z	18 Hellenic Court, Carrum Downs
B1Z	C1Z	20 Hellenic Court, Carrum Downs
B1Z	C1Z	22 Hellenic Court, Carrum Downs
B1Z	C1Z	Herbert Reserve 44r Herbert Road, Carrum Downs
B1Z	C1Z	50 Herbert Road, Carrum Downs
B1Z	C1Z	47 Kareela Road, Frankston
B1Z	C1Z	49 Kareela Road, Frankston
B1Z	C1Z	51 Kareela Road, Frankston
B1Z	C1Z	53 Kareela Road, Frankston
B1Z	C1Z	55 Kareela Road, Frankston
B1Z	C1Z	57 Kareela Road, Frankston
B1Z	C1Z	59 Kareela Road, Frankston
B1Z	C1Z	2/61 Kareela Road, Frankston
B1Z	C1Z	1 Lewis Street, Frankston
B1Z	C1Z	5/4 Lewis Street, Frankston
B1Z	C1Z	2 Long Street, Langwarrin
B1Z	C1Z	91 Lucerne Crescent, Frankston
B1Z	C1Z	93 Lucerne Crescent, Frankston
B1Z	C1Z	95 Lucerne Crescent, Frankston
B1Z	C1Z	Carrum Downs Library & Community Centre 203 Lyrebird Drive, Carrum Downs
B1Z	C1Z	Frankston North Community Centre 26 Mahogany Avenue, Frankston North
B1Z	C1Z	Frankston North Maternal & Child Health Centre 5/26-38 Mahogany Avenue, Frankston North
B1Z	C1Z	40 Mahogany Avenue, Frankston North
B1Z	C1Z	42 Mahogany Avenue, Frankston North
B1Z	C1Z	44 Mahogany Avenue, Frankston North
B1Z	C1Z	46 Mahogany Avenue, Frankston North
B1Z	C1Z	48 Mahogany Avenue, Frankston North
B1Z	C1Z	50 Mahogany Avenue, Frankston North
B1Z	C1Z	52 Mahogany Avenue, Frankston North
B1Z	C1Z	54-56 Mahogany Avenue, Frankston North
B1Z	C1Z	58 Mahogany Avenue, Frankston North
B1Z	C1Z	2 Maria Drive, Langwarrin
B1Z	C1Z	Maria Reserve 2r Maria Drive, Langwarrin
B1Z	C1Z	6/21 McCormicks Road, Carrum Downs

B1Z	C1Z	10 Mcculloch Avenue, Seaford
B1Z	C1Z	Shop 12a Mcculloch Avenue, Seaford
B1Z	C1Z	Flat 12b Mcculloch Avenue, Seaford
B1Z	C1Z	14a Mcculloch Avenue, Seaford
B1Z	C1Z	14b Mcculloch Avenue, Seaford
B1Z	C1Z	2/16 Mcculloch Avenue, Seaford
B1Z	C1Z	6 Mcculloch Avenue, Seaford
B1Z	C1Z	8 Mcculloch Avenue, Seaford
B1Z	C1Z	3r Montdami Way, Carrum Downs
B1Z	C1Z	24 Myhaven Circuit, Carrum Downs
B1Z	C1Z	30 Myhaven Circuit, Carrum Downs
B1Z	C1Z	32 Myhaven Circuit, Carrum Downs
B1Z	C1Z	34 Myhaven Circuit, Carrum Downs
B1Z	C1Z	36 Myhaven Circuit, Carrum Downs
B1Z	C1Z	38 Myhaven Circuit, Carrum Downs
B1Z	C1Z	42 Myhaven Circuit, Carrum Downs
B1Z	C1Z	44 Myhaven Circuit, Carrum Downs
B1Z	C1Z	48 Myhaven Circuit, Carrum Downs
B1Z	C1Z	106 Nepean Highway, Seaford
B1Z	C1Z	111 Nepean Highway, Seaford
B1Z	C1Z	111a Nepean Highway, Seaford
B1Z	C1Z	111b Nepean Highway, Seaford
B1Z	C1Z	112 Nepean Highway, Seaford
B1Z	C1Z	112a Nepean Highway, Seaford
B1Z	C1Z	112b Nepean Highway, Seaford
B1Z	C1Z	113 Nepean Highway, Seaford
B1Z	C1Z	113a Nepean Highway, Seaford
B1Z	C1Z	113b Nepean Highway, Seaford
B1Z	C1Z	113c Nepean Highway, Seaford
B1Z	C1Z	114 Nepean Highway, Seaford
B1Z	C1Z	114a Nepean Highway, Seaford
B1Z	C1Z	114b Nepean Highway, Seaford
B1Z	C1Z	115 Nepean Highway, Seaford
B1Z	C1Z	115a Nepean Highway, Seaford
B1Z	C1Z	116 Nepean Highway, Seaford
B1Z	C1Z	117 Nepean Highway, Seaford
B1Z	C1Z	118 Nepean Highway, Seaford

B1Z	C1Z	119 Nepean Highway, Seaford
B1Z	C1Z	120 Nepean Highway, Seaford
B1Z	C1Z	121 Nepean Highway, Seaford
B1Z	C1Z	122 Nepean Highway, Seaford
B1Z	C1Z	122a Nepean Highway, Seaford
B1Z	C1Z	123 Nepean Highway, Seaford
B1Z	C1Z	124 Nepean Highway, Seaford
B1Z	C1Z	124a Nepean Highway, Seaford
B1Z	C1Z	125 Nepean Highway, Seaford
B1Z	C1Z	125a Nepean Highway, Seaford
B1Z	C1Z	4/126 Nepean Highway, Seaford
B1Z	C1Z	Com Prop 127 Nepean Highway, Seaford
B1Z	C1Z	Tower 127-128 Nepean Highway, Seaford
B1Z	C1Z	Optus Tower 1/127t Nepean Highway, Seaford
B1Z	C1Z	128 Nepean Highway, Seaford
B1Z	C1Z	130 Nepean Highway, Seaford
B1Z	C1Z	130a Nepean Highway, Seaford
B1Z	C1Z	Shop 2/131 Nepean Highway, Seaford
B1Z	C1Z	132 Nepean Highway, Seaford
B1Z	C1Z	133 Nepean Highway, Seaford
B1Z	C1Z	14-15 Nepean Highway, Seaford
B1Z	C1Z	16/161-162 Nepean Highway, Seaford
B1Z	C1Z	163 Nepean Highway, Seaford
B1Z	C1Z	164-165 Nepean Highway, Seaford
B1Z	C1Z	Kananook Creek Reserve 164r Nepean Highway, Seaford
B1Z	C1Z	164s Nepean Highway, Seaford
B1Z	C1Z	166-175 Nepean Highway, Seaford
B1Z	C1Z	17 Nepean Highway, Seaford
B1Z	C1Z	17a Nepean Highway, Seaford
B1Z	C1Z	17b Nepean Highway, Seaford
B1Z	C1Z	17c Nepean Highway, Seaford
B1Z	C1Z	17d Nepean Highway, Seaford
B1Z	C1Z	30 Nepean Highway, Seaford
B1Z	C1Z	31 Nepean Highway, Seaford
B1Z	C1Z	31a Nepean Highway, Seaford
B1Z	C1Z	32-34 Nepean Highway, Seaford
B1Z	C1Z	35 Nepean Highway, Seaford

B1Z	C1Z	42 Norman Avenue, Frankston South
B1Z	C1Z	Tower 44 Norman Avenue, Frankston South
B1Z	C1Z	Optus Tower 1/44t Norman Avenue, Frankston South
B1Z	C1Z	46 Norman Avenue, Frankston South
B1Z	C1Z	48 Norman Avenue, Frankston South
B1Z	C1Z	50 Norman Avenue, Frankston South
B1Z	C1Z	52 Norman Avenue, Frankston South
B1Z	C1Z	54 Norman Avenue, Frankston South
B1Z	C1Z	56 Norman Avenue, Frankston South
B1Z	C1Z	58 Norman Avenue, Frankston South
B1Z	C1Z	60 Norman Avenue, Frankston South
B1Z	C1Z	172 North Road, Langwarrin
B1Z	C1Z	176 North Road, Langwarrin
B1Z	C1Z	9/8 Norwarran Way, Langwarrin
B1Z	C1Z	2/2 Omaroo Lane, Frankston
B1Z	C1Z	Orwil Reserve 10-16 Orwil Street, Frankston
B1Z	C1Z	75 Orwil Street, Frankston
B1Z	C1Z	2/3 Overport Road, Frankston
B1Z	C1Z	The Mall Road Reserve 5r Overport Road, Frankston
B1Z	C1Z	Com Prop 1 Parer Street, Frankston
B1Z	C1Z	1a Parer Street, Frankston
B1Z	C1Z	23 Partridge Crescent, Carrum Downs
B1Z	C1Z	35 Partridge Crescent, Carrum Downs
B1Z	C1Z	37 Partridge Crescent, Carrum Downs
B1Z	C1Z	39 Partridge Crescent, Carrum Downs
B1Z	C1Z	41 Partridge Crescent, Carrum Downs
B1Z	C1Z	1 Pepe Court, Frankston
B1Z	C1Z	2 Pepe Court, Frankston
B1Z	C1Z	3 Pepe Court, Frankston
B1Z	C1Z	1 Peregrine Place, Carrum Downs
B1Z	C1Z	3 Peregrine Place, Carrum Downs
B1Z	C1Z	Office 101/1 Petrie Street, Frankston
B1Z	C1Z	3 Petrie Street, Frankston
B1Z	C1Z	2 Pitta Place, Carrum Downs
B1Z	C1Z	4 Raewyn Court, Langwarrin
B1Z	C1Z	5 Raewyn Court, Langwarrin
B1Z	C1Z	103 Railway Parade, Seaford

B1Z	C1Z	104 Railway Parade, Seaford
B1Z	C1Z	105 Railway Parade, Seaford
B1Z	C1Z	106-107 Railway Parade, Seaford
B1Z	C1Z	110 Railway Parade, Seaford
B1Z	C1Z	Optus Tower 1/110t Railway Parade, Seaford
B1Z	C1Z	111 Railway Parade, Seaford
B1Z	C1Z	112 Railway Parade, Seaford
B1Z	C1Z	113 Railway Parade, Seaford
B1Z	C1Z	114 Railway Parade, Seaford
B1Z	C1Z	2/115 Railway Parade, Seaford
B1Z	C1Z	117 Railway Parade, Seaford
B1Z	C1Z	Erinwood Kindergarten 2/107-109 Raphael Crescent, Frankston
B1Z	C1Z	Com Prop 1 Riviera Street, Seaford
B1Z	C1Z	18 Riviera Street, Seaford
B1Z	C1Z	19a Riviera Street, Seaford
B1Z	C1Z	19b Riviera Street, Seaford
B1Z	C1Z	20 Riviera Street, Seaford
B1Z	C1Z	21 Riviera Street, Seaford
B1Z	C1Z	1/1 Royle Street, Frankston
B1Z	C1Z	2/1 Sanders Road, Frankston South
B1Z	C1Z	274 Seaford Road, Seaford
B1Z	C1Z	276 Seaford Road, Seaford
B1Z	C1Z	278-280 Seaford Road, Seaford
B1Z	C1Z	282 Seaford Road, Seaford
B1Z	C1Z	284-288 Seaford Road, Seaford
B1Z	C1Z	290 Seaford Road, Seaford
B1Z	C1Z	2/19 Shaxton Circle, Frankston
B1Z	C1Z	Shaxton Circle 25r Shaxton Circle, Frankston
B1Z	C1Z	10-14 Skye Road, Frankston
B1Z	C1Z	16 Skye Road, Frankston
B1Z	C1Z	2/18-28 Skye Road, Frankston
B1Z	C1Z	2 Skye Road, Frankston
B1Z	C1Z	2/30-34 Skye Road, Frankston
B1Z	C1Z	4 Skye Road, Frankston
B1Z	C1Z	6-8 Skye Road, Frankston
B1Z	C1Z	10 Station Street, Seaford
B1Z	C1Z	Com Prop 10a Station Street, Seaford



B1Z	C1Z	12 Station Street, Seaford
B1Z	C1Z	1-3 Station Street, Seaford
B1Z	C1Z	14 Station Street, Seaford
B1Z	C1Z	16 Station Street, Seaford
B1Z	C1Z	18 Station Street, Seaford
B1Z	C1Z	2 Station Street, Seaford
B1Z	C1Z	20 Station Street, Seaford
B1Z	C1Z	2a Station Street, Seaford
B1Z	C1Z	4 Station Street, Seaford
B1Z	C1Z	5 Station Street, Seaford
B1Z	C1Z	6 Station Street, Seaford
B1Z	C1Z	7r Station Street, Seaford
B1Z	C1Z	Shop 8 Station Street, Seaford
B1Z	C1Z	Level 1, 8 Station Street, Seaford
B1Z	C1Z	Mens Shed 14 Stringybark Crescent, Frankston North
B1Z	C1Z	57 Taketa Crescent, Frankston
B1Z	C1Z	59 Taketa Crescent, Frankston
B1Z	C1Z	61 Taketa Crescent, Frankston
B1Z	C1Z	4/65 Taketa Crescent, Frankston
B1Z	C1Z	73 Taketa Crescent, Frankston
B1Z	C1Z	1 The Mall, Frankston
B1Z	C1Z	2 The Mall, Frankston
B1Z	C1Z	3 The Mall, Frankston
B1Z	C1Z	4 The Mall, Frankston
B1Z	C1Z	5 The Mall, Frankston
B1Z	C1Z	6 The Mall, Frankston
B1Z	C1Z	2a Ti-Tree Crescent, Seaford
B1Z	C1Z	6 Turnstone Court, Carrum Downs
B1Z	C1Z	7 Turnstone Court, Carrum Downs
B1Z	C1Z	8 Turnstone Court, Carrum Downs
B1Z	C1Z	Shop 4/143 Warrandyte Road, Langwarrin
B1Z	C1Z	151 Warrandyte Road, Langwarrin
B1Z	C1Z	Frankston Railway Line 69v Young Street, Frankston
B2Z	C2Z	8/1 Cadles Road, Carrum Downs
B2Z	C1Z	15 Cadles Road, Carrum Downs
B2Z	C1Z	23/19a Cadles Road, Carrum Downs
B2Z	C1Z	28/25 Cadles Road, Carrum Downs

B2Z	C1Z	9 Cadles Road, Carrum Downs
B2Z	C1Z	51 Davey Street, Frankston
B2Z	C1Z	113a Hall Road, Carrum Downs
B2Z	C1Z	113b Hall Road, Carrum Downs
B2Z	C1Z	113c Hall Road, Carrum Downs
B2Z	C1Z	9/115 Hall Road, Carrum Downs
B2Z	C1Z	Com Prop 117 Hall Road, Carrum Downs
B2Z	C1Z	117a Hall Road, Carrum Downs
B2Z	C1Z	117b Hall Road, Carrum Downs
B2Z	C1Z	117c Hall Road, Carrum Downs
B2Z	C1Z	3/119 Hall Road, Carrum Downs
B2Z	C1Z	Shop 13/121 Hall Road, Carrum Downs
B2Z	C1Z	121a Hall Road, Carrum Downs
B2Z	C1Z	121s Hall Road, Carrum Downs
B2Z	C1Z	123 Hall Road, Carrum Downs
B2Z	C1Z	125 Hall Road, Carrum Downs
B2Z	C1Z	129 Hall Road, Carrum Downs
B2Z	C1Z	131 Hall Road, Carrum Downs
B2Z	C1Z	Com Prop 63 Hall Road, Carrum Downs
B2Z	C1Z	71 Hall Road, Carrum Downs
B2Z	C1Z	71a Hall Road, Carrum Downs
B2Z	C1Z	71b Hall Road, Carrum Downs
B2Z	C1Z	Office 2/Ground Flr 121 Hall Road, Carrum Downs
B2Z	C1Z	Office 6/Level 1, 121 Hall Road, Carrum Downs
B2Z	C1Z	Stony Point Railway Line 1 Hastings Road, Frankston
B2Z	C1Z	5 Oasis Court, Carrum Downs
B2Z	C1Z	10 Protea Street, Carrum Downs
B2Z	C1Z	10a Protea Street, Carrum Downs
B2Z	C1Z	12 Protea Street, Carrum Downs
B2Z	C1Z	18 Protea Street, Carrum Downs
B2Z	C1Z	2 Protea Street, Carrum Downs
B2Z	C1Z	20 Protea Street, Carrum Downs
B2Z	C1Z	Com Prop 22 Protea Street, Carrum Downs
B2Z	C1Z	26 Protea Street, Carrum Downs
B2Z	C1Z	28 Protea Street, Carrum Downs
B2Z	C1Z	2a Protea Street, Carrum Downs
B2Z	C1Z	4 Protea Street, Carrum Downs

<b>B2Z</b>	C1Z	11/50 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	6 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	7/60 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	6a Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	8/70 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	8 Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	8a Protea Street, Carrum Downs
<b>B2Z</b>	C1Z	2 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	20 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	22 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	24 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	4 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	6 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	8 Sanctuary Drive, Carrum Downs
<b>B2Z</b>	C1Z	80 William Road, Carrum Downs
<b>B5Z</b>	C1Z	4 Alonzo Court, Frankston
<b>B5Z</b>	C1Z	5 Alonzo Court, Frankston
<b>B5Z</b>	C1Z	2/1 Bendemere Rise, Langwarrin
<b>B5Z</b>	C1Z	1r Bendemere Rise, Langwarrin
<b>B5Z</b>	C1Z	Broughton Reserve 6 Broughton Street, Seaford
<b>B5Z</b>	C1Z	29/7 Broughton Street, Seaford
<b>B5Z</b>	C1Z	1 Chevalier Place, Frankston
<b>B5Z</b>	C1Z	2 Chevalier Place, Frankston
<b>B5Z</b>	C1Z	3 Chevalier Place, Frankston
<b>B5Z</b>	C1Z	9 Chevalier Place, Frankston
<b>B5Z</b>	C1Z	328 Cranbourne Road, Frankston
<b>B5Z</b>	C1Z	Com Prop 5 Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	5s Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	9 Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	Unit 14/Ground Flr 5 Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	Unit 4/Level 1, 5 Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	Unit 2/Level 2, 5 Culcairn Drive, Frankston South
<b>B5Z</b>	C1Z	1/7 Ebdale Street, Frankston
<b>B5Z</b>	C1Z	12/190 Karingal Drive, Frankston
<b>B5Z</b>	C1Z	192 Karingal Drive, Frankston
<b>B5Z</b>	C1Z	Com Prop 194-196 Karingal Drive, Frankston
<b>B5Z</b>	C1Z	200 Karingal Drive, Frankston

B5Z	C1Z	202 Karingal Drive, Frankston
B5Z	C1Z	204 Karingal Drive, Frankston
B5Z	C1Z	206 Karingal Drive, Frankston
B5Z	C1Z	208-210 Karingal Drive, Frankston
B5Z	C1Z	212 Karingal Drive, Frankston
B5Z	C1Z	214 Karingal Drive, Frankston
B5Z	C1Z	216 Karingal Drive, Frankston
B5Z	C1Z	218 Karingal Drive, Frankston
B5Z	C1Z	220 Karingal Drive, Frankston
B5Z	C1Z	228 Karingal Drive, Frankston
B5Z	C1Z	28 Liardet Crescent, Frankston
B5Z	C1Z	29 Liardet Crescent, Frankston
B5Z	C1Z	3 Liardet Crescent, Frankston
B5Z	C1Z	30 Liardet Crescent, Frankston
B5Z	C1Z	4 Liardet Crescent, Frankston
B5Z	C1Z	15/107 Nepean Highway, Seaford
B5Z	C1Z	109 Nepean Highway, Seaford
B5Z	C1Z	110 Nepean Highway, Seaford
B5Z	C1Z	134 Nepean Highway, Seaford
B5Z	C1Z	135 Nepean Highway, Seaford
B5Z	C1Z	Kananook Creek Reserve 299n Nepean Highway, Seaford
B5Z	C1Z	23 O'grady Avenue, Frankston
B5Z	C1Z	25 O'grady Avenue, Frankston
B5Z	C1Z	19/15 Peninsula Crescent, Langwarrin
B5Z	C1Z	2 St Clere Court, Frankston
B5Z	C1Z	3 St Clere Court, Frankston
B5Z	C1Z	4 St Clere Court, Frankston
B5Z	C1Z	20 Union Road, Langwarrin
B5Z	C1Z	26 Union Road, Langwarrin
B5Z	C1Z	5 Union Road, Langwarrin
B5Z	C1Z	5a Union Road, Langwarrin
B5Z	C1Z	3 Victor Avenue, Seaford
B5Z	C1Z	4 Victor Avenue, Seaford

## Appendix 11 – Table of B4Z Mapping Updates

Table of Business 4 Zone be rezoned to Commercial 2 Zone		
Current Zone	Proposed Zone	Address
B4Z	C2Z	1/111s Cranbourne Road, Frankston
B4Z	C2Z	80 Cranbourne Road, Frankston
B4Z	C2Z	86 Cranbourne Road, Frankston
B4Z	C2Z	86s Cranbourne Road, Frankston
B4Z	C2Z	87 Cranbourne Road, Frankston
B4Z	C2Z	90-94 Cranbourne Road, Frankston
B4Z	C2Z	1/96 Cranbourne Road, Frankston
B4Z	C2Z	34 Dandenong Road West, Frankston
B4Z	C2Z	36-38 Dandenong Road West, Frankston
B4Z	C2Z	Com Prop 36-40 Dandenong Road West, Frankston
B4Z	C2Z	40 Dandenong Road West, Frankston
B4Z	C2Z	42 Dandenong Road West, Frankston
B4Z	C2Z	Com Prop 42-44 Dandenong Road West, Frankston
B4Z	C2Z	44 Dandenong Road West, Frankston
B4Z	C2Z	60 Dandenong Road West, Frankston
B4Z	C2Z	Com Prop 60-64 Dandenong Road West, Frankston
B4Z	C2Z	62 Dandenong Road West, Frankston
B4Z	C2Z	64 Dandenong Road West, Frankston
B4Z	C2Z	66 Dandenong Road West, Frankston
B4Z	C2Z	72 Dandenong Road West, Frankston
B4Z	C2Z	Com Prop 72-76 Dandenong Road West, Frankston
B4Z	C2Z	74 Dandenong Road West, Frankston
B4Z	C2Z	74a Dandenong Road West, Frankston
B4Z	C2Z	76 Dandenong Road West, Frankston
B4Z	C2Z	48 Deane Street, Frankston
B4Z	C2Z	17 Fletcher Road, Frankston
B4Z	C2Z	19 Fletcher Road, Frankston

B4Z	C2Z	5 Franklin Court, Frankston
B4Z	C2Z	6 Franklin Court, Frankston
B4Z	C2Z	7 Franklin Court, Frankston
B4Z	C2Z	574 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	576 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	580 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	582 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	584 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	586 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	588 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	590 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	600 Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	600s Frankston-Dandenong Road, Carrum Downs
B4Z	C2Z	1 Gertrude Street, Frankston
B4Z	C2Z	12 Lathams Road, Carrum Downs
B4Z	C2Z	14 Lathams Road, Carrum Downs
B4Z	C2Z	16 Lathams Road, Carrum Downs
B4Z	C2Z	18 Lathams Road, Carrum Downs
B4Z	C2Z	Com Prop 2 Lathams Road, Carrum Downs
B4Z	C2Z	24 Lathams Road, Carrum Downs
B4Z	C2Z	6s Levida Drive, Carrum Downs
B4Z	C2Z	8s Levida Drive, Carrum Downs
B4Z	C2Z	10 McMahons Road, FRANKSTON
B4Z	C2Z	Shop 7/20 McMahons Road, FRANKSTON
B4Z	C2Z	4/40 McMahons Road, FRANKSTON
B4Z	C2Z	40S McMahons Road, FRANKSTON
B4Z	C2Z	48 McMahons Road, FRANKSTON
B4Z	C2Z	4/36 Mereweather Avenue, Frankston
B4Z	C2Z	27 O'grady Avenue, Frankston
B4Z	C2Z	14/35 Sheridan Avenue, Frankston

<b>B4Z</b>	C2Z	24s Yazaki Way, Carrum Downs
<b>B4Z</b>	C2Z	26s Yazaki Way, Carrum Downs
<b>B4Z</b>	C2Z	30s Yazaki Way, Carrum Downs

**Appendix 12: Table of all properties to be deleted from DPO1 and SCO2**

Properties proposed for DPO1 deletion	
Number	Address
1	1 April Grove, Carrum Downs
2	11 April Grove, Carrum Downs
3	13 April Grove, Carrum Downs
4	15 April Grove, Carrum Downs
5	17 April Grove, Carrum Downs
6	19 April Grove, Carrum Downs
7	21 April Grove, Carrum Downs
8	Com Prop 23 April Grove, Carrum Downs
9	3 April Grove, Carrum Downs
10	5 April Grove, Carrum Downs
11	7 April Grove, Carrum Downs
12	9 April Grove, Carrum Downs
13	1 Bronzewing Drive, Carrum Downs
14	10 Bronzewing Drive, Carrum Downs
15	12 Bronzewing Drive, Carrum Downs
16	14 Bronzewing Drive, Carrum Downs
17	16 Bronzewing Drive, Carrum Downs
18	18 Bronzewing Drive, Carrum Downs
19	19 Bronzewing Drive, Carrum Downs
20	Com Prop 1A Bronzewing Drive, Carrum Downs
21	2 Bronzewing Drive, Carrum Downs
22	20 Bronzewing Drive, Carrum Downs
23	21 Bronzewing Drive, Carrum Downs
24	22 Bronzewing Drive, Carrum Downs
25	24 Bronzewing Drive, Carrum Downs
26	26 Bronzewing Drive, Carrum Downs
27	28 Bronzewing Drive, Carrum Downs
28	3 Bronzewing Drive, Carrum Downs
29	30 Bronzewing Drive, Carrum Downs
30	32 Bronzewing Drive, Carrum Downs
31	34 Bronzewing Drive, Carrum Downs
32	36 Bronzewing Drive, Carrum Downs
33	38 Bronzewing Drive, Carrum Downs
34	4 Bronzewing Drive, Carrum Downs



35	40 Bronzewing Drive, Carrum Downs
36	42 Bronzewing Drive, Carrum Downs
37	44 Bronzewing Drive, Carrum Downs
38	46 Bronzewing Drive, Carrum Downs
39	48 Bronzewing Drive, Carrum Downs
40	5 Bronzewing Drive, Carrum Downs
41	50 Bronzewing Drive, Carrum Downs
42	52 Bronzewing Drive, Carrum Downs
43	54 Bronzewing Drive, Carrum Downs
44	56 Bronzewing Drive, Carrum Downs
45	58 Bronzewing Drive, Carrum Downs
46	6 Bronzewing Drive, Carrum Downs
47	7 Bronzewing Drive, Carrum Downs
48	8 Bronzewing Drive, Carrum Downs
49	9 Bronzewing Drive, Carrum Downs
50	1 Eastern Rosella Lane, Carrum Downs
51	2 Eastern Rosella Lane, Carrum Downs
52	3 Eastern Rosella Lane, Carrum Downs
53	4 Eastern Rosella Lane, Carrum Downs
54	6 Eastern Rosella Lane, Carrum Downs
55	1/36 Hillview Drive, Carrum Downs
56	2/36 Hillview Drive, Carrum Downs
57	38S Hillview Drive, Carrum Downs
58	40 Hillview Drive, Carrum Downs
59	42 Hillview Drive, Carrum Downs
60	Com Prop 43 Hillview Drive, Carrum Downs
61	43A Hillview Drive, Carrum Downs
62	44 Hillview Drive, Carrum Downs
63	45A Hillview Drive, Carrum Downs
64	45B Hillview Drive, Carrum Downs
65	45C Hillview Drive, Carrum Downs
66	46 Hillview Drive, Carrum Downs
67	47A Hillview Drive, Carrum Downs
68	47B Hillview Drive, Carrum Downs
69	47C Hillview Drive, Carrum Downs
70	48 Hillview Drive, Carrum Downs
71	49A Hillview Drive, Carrum Downs

72	49B Hillview Drive, Carrum Downs
73	49C Hillview Drive, Carrum Downs
74	50 Hillview Drive, Carrum Downs
75	51A Hillview Drive, Carrum Downs
76	51B Hillview Drive, Carrum Downs
77	51C Hillview Drive, Carrum Downs
78	52 Hillview Drive, Carrum Downs
79	54A Hillview Drive, Carrum Downs
80	54B Hillview Drive, Carrum Downs
81	54C Hillview Drive, Carrum Downs
82	2 Kilcunda Close, Carrum Downs
83	4 Kilcunda Close, Carrum Downs
84	39 Lats Avenue, Carrum Downs
85	1 Lennox Place, Carrum Downs
86	11 Lennox Place, Carrum Downs
87	3 Lennox Place, Carrum Downs
88	5 Lennox Place, Carrum Downs
89	7 Lennox Place, Carrum Downs
90	9 Lennox Place, Carrum Downs
91	1 Molly Lane, Carrum Downs
92	2 Molly Lane, Carrum Downs
93	3 Molly Lane, Carrum Downs
94	4 Molly Lane, Carrum Downs
95	18 Pagett Road, Carrum Downs
96	20 Pagett Road, Carrum Downs
97	22 Pagett Road, Carrum Downs
98	24 Pagett Road, Carrum Downs
99	25 Pagett Road, Carrum Downs
100	26 Pagett Road, Carrum Downs
101	27 Pagett Road, Carrum Downs
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114	40 Pagett Road, Carrum Downs
115	42 Pagett Road, Carrum Downs
116	44 Pagett Road, Carrum Downs
117	46 Pagett Road, Carrum Downs
118	48 Pagett Road, Carrum Downs
119	52S Pagett Road, Carrum Downs
120	1 Pippa Way, Carrum Downs
121	10 Pippa Way, Carrum Downs
122	11 Pippa Way, Carrum Downs
123	12 Pippa Way, Carrum Downs
124	13 Pippa Way, Carrum Downs
125	14 Pippa Way, Carrum Downs
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127	16 Pippa Way, Carrum Downs
128	18 Pippa Way, Carrum Downs
129	2 Pippa Way, Carrum Downs
130	20 Pippa Way, Carrum Downs
131	22 Pippa Way, Carrum Downs
132	24 Pippa Way, Carrum Downs
133	26 Pippa Way, Carrum Downs
134	28 Pippa Way, Carrum Downs
135	3 Pippa Way, Carrum Downs
136	30 Pippa Way, Carrum Downs
137	4 Pippa Way, Carrum Downs
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139	6 Pippa Way, Carrum Downs
140	7 Pippa Way, Carrum Downs
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155	20 Shoreline Crescent, Carrum Downs
156	21 Shoreline Crescent, Carrum Downs
157	22 Shoreline Crescent, Carrum Downs
158	23 Shoreline Crescent, Carrum Downs
159	24 Shoreline Crescent, Carrum Downs
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161	26 Shoreline Crescent, Carrum Downs
162	27 Shoreline Crescent, Carrum Downs
163	28 Shoreline Crescent, Carrum Downs
164	29 Shoreline Crescent, Carrum Downs
165	3 Shoreline Crescent, Carrum Downs
166	30R Shoreline Crescent, Carrum Downs
167	31 Shoreline Crescent, Carrum Downs
168	32 Shoreline Crescent, Carrum Downs
169	33 Shoreline Crescent, Carrum Downs
170	34 Shoreline Crescent, Carrum Downs
171	35 Shoreline Crescent, Carrum Downs
172	36 Shoreline Crescent, Carrum Downs
173	38 Shoreline Crescent, Carrum Downs
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191	68 Shoreline Crescent, Carrum Downs
192	7 Shoreline Crescent, Carrum Downs
193	70 Shoreline Crescent, Carrum Downs
194	72 Shoreline Crescent, Carrum Downs
195	74 Shoreline Crescent, Carrum Downs
196	8 Shoreline Crescent, Carrum Downs
197	9 Shoreline Crescent, Carrum Downs
198	1 Spinebill Lane, Carrum Downs
199	2 Spinebill Lane, Carrum Downs
200	3 Spinebill Lane, Carrum Downs
201	4 Spinebill Lane, Carrum Downs
202	5 Spinebill Lane, Carrum Downs
203	6 Spinebill Lane, Carrum Downs
204	1 Surfers Crescent, Carrum Downs
205	10 Surfers Crescent, Carrum Downs
206	11 Surfers Crescent, Carrum Downs
207	12 Surfers Crescent, Carrum Downs
208	13 Surfers Crescent, Carrum Downs
209	14 Surfers Crescent, Carrum Downs
210	15 Surfers Crescent, Carrum Downs
211	16 Surfers Crescent, Carrum Downs
212	17 Surfers Crescent, Carrum Downs
213	18 Surfers Crescent, Carrum Downs
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229	33 Surfers Crescent, Carrum Downs
230	35 Surfers Crescent, Carrum Downs
231	37 Surfers Crescent, Carrum Downs
232	39 Surfers Crescent, Carrum Downs
233	4 Surfers Crescent, Carrum Downs
234	41 Surfers Crescent, Carrum Downs
235	43 Surfers Crescent, Carrum Downs
236	45 Surfers Crescent, Carrum Downs
237	47 Surfers Crescent, Carrum Downs
238	49 Surfers Crescent, Carrum Downs
239	5 Surfers Crescent, Carrum Downs
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241	53 Surfers Crescent, Carrum Downs
242	55 Surfers Crescent, Carrum Downs
243	57 Surfers Crescent, Carrum Downs
244	59 Surfers Crescent, Carrum Downs
245	6 Surfers Crescent, Carrum Downs
246	61 Surfers Crescent, Carrum Downs
247	63 Surfers Crescent, Carrum Downs
248	65 Surfers Crescent, Carrum Downs
249	67 Surfers Crescent, Carrum Downs
250	7 Surfers Crescent, Carrum Downs
251	8 Surfers Crescent, Carrum Downs
252	9 Surfers Crescent, Carrum Downs
253	40 Trafford Road, Carrum Downs
254	42 Trafford Road, Carrum Downs
255	43 Trafford Road, Carrum Downs
256	Com Prop 44 Trafford Road, Carrum Downs

257	45 Trafford Road, Carrum Downs
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264	52S Trafford Road, Carrum Downs
265	53 Trafford Road, Carrum Downs
266	54 Trafford Road, Carrum Downs
267	55 Trafford Road, Carrum Downs
268	56 Trafford Road, Carrum Downs
269	57 Trafford Road, Carrum Downs
270	58 Trafford Road, Carrum Downs
271	Com Prop 59 Trafford Road, Carrum Downs
272	59A Trafford Road, Carrum Downs
273	60 Trafford Road, Carrum Downs
274	62 Trafford Road, Carrum Downs
275	64 Trafford Road, Carrum Downs
276	1 Wallagoot Walk, Carrum Downs
277	10 Wallagoot Walk, Carrum Downs
278	11 Wallagoot Walk, Carrum Downs
279	12 Wallagoot Walk, Carrum Downs
280	13 Wallagoot Walk, Carrum Downs
281	14 Wallagoot Walk, Carrum Downs
282	16 Wallagoot Walk, Carrum Downs
283	2 Wallagoot Walk, Carrum Downs
284	3 Wallagoot Walk, Carrum Downs
285	4 Wallagoot Walk, Carrum Downs
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287	6 Wallagoot Walk, Carrum Downs
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<b>295</b>	14 Wineglass Walk, Carrum Downs
<b>296</b>	16 Wineglass Walk, Carrum Downs
<b>297</b>	2 Wineglass Walk, Carrum Downs
<b>298</b>	3 Wineglass Walk, Carrum Downs
<b>299</b>	4 Wineglass Walk, Carrum Downs
<b>300</b>	5 Wineglass Walk, Carrum Downs
<b>301</b>	6 Wineglass Walk, Carrum Downs
<b>302</b>	7 Wineglass Walk, Carrum Downs
<b>303</b>	8 Wineglass Walk, Carrum Downs
<b>304</b>	9 Wineglass Walk, Carrum Downs

Properties proposed for SCO2 deletion	
Number	Address
<b>1</b>	34 Mountain Avenue, Frankston South
<b>2</b>	4 Kristen Close, Frankston South
<b>3</b>	4C Kristen Close, Frankston South
<b>4</b>	4D Kristen Close, Frankston South
<b>5</b>	4E Kristen Close, Frankston South
<b>6</b>	4F Kristen Close, Frankston South



## Appendix 13: Planning permit for 17 Pagett Road, Carrum Downs



### PLANNING PERMIT

FORM 4 Section 63 & 86

PERMIT NUMBER:	63/2021/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	17 Pagett Road, Carrum Downs 3201, 18 Pagett Road, Carrum Downs 3201
THE PERMIT ALLOWS:	To construct one hundred and thirty-five (135) dwellings in stages in a General Residential Zone (GRZ) and to remove native vegetation under Clause 52.17 of the Frankston Planning Scheme

#### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

##### Amended Plans

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans submitted with the application *Reference 21-0021 73 Sheets prepared by Thomas Anderson Design dated 2 June 2020 Issue D* but modified to show:
  - a) Deletion of dwelling 'Res38'. No buildings, secluded private open or works (including fencing) are to be shown to occur within the tree protection zone or canopy dripline of Tree 96.
  - b) Trees 17, 19, 20 and 38 removed.
  - c) Tree protection fence locations for all trees to be retained illustrated on all relevant plans.
  - d) Tree protection conditions noted in accordance with Conditions 13, 14 and 15.
  - e) Sheet 23 'Waste Management Plan' amended to include the following:
    - i. Direction of truck travel along the private roads.
  - f) Where retaining walls within private open space are above 500mm in height provide stairs to improve access and amenity.
  - g) Fencing between Laneway 1 and Raynes Close, Laneway 2 and 38R/M Access Way, Res 37 and 38, Res 36 and 55, and around the Clifton Grove Reserve extension to be in accordance with Council SD506-Round Bollard. Plans to clearly label and identify the location of the bollards.
  - h) Provide a passing area at least 6.1 metres wide and 7 metres long where Laneway 3 connects to Pagett Road.
  - i) Demonstrate vehicles from Res58 and 60 can exit the site in a forwards direction.
  - j) Finished Surface Levels (FSL) of Laneway 1, 2, 3, and 4 nominated.
  - k) Laneway 1, 2, 3 and 4 where they intersect with a new Council road in accordance Council SD310-Vehicle Crossing Type 2.
  - l) Provision of a 2.5 metre high acoustic fence along the entire boundary with the industrial zone, excluding where an acoustic fence is already provided and the fence between the connection to 38R/M Access Way in accordance with Condition 54.

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## PLANNING PERMIT

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Conditions Continued –

- m) Res Type B materials to be brick at ground floor level (front and side façade) excluding feature detail render elements, with garages to also be brick.
- n) Boundary fence between Res 43 and 1 Raynes Close replaced with a 1.8m high paling fence.
- o) Architectural shade devices provided to all north and west facing habitable room windows.
- p) Res 48, 50, 52, 54 & 74 provided with 6m<sup>3</sup> storage within the garage.
- q) Water tank nominated to each dwelling.
- r) Greater variation in the proposed material and colour finishes between dwellings to break up monotonous appearance, potentially with an alternating pattern.
- s) Materials schedule amended with all dwellings provided with lighter coloured roofs to improve energy efficiency.
- t) Road humps on Trafford Road and Pagett Road in accordance with Council SD-350.
- u) Raised pavement at the intersection of Sky Way and Pagett Road in accordance with Austroads-Local Area Traffic Management.
- v) Tandem parking spaces must not overhang pedestrian footpath.
- w) An amended Landscape Master Plan in accordance with Condition 6.
- x) A Tree Protection Management Plan in accordance with Condition 12.
- y) Report on the findings and mitigation methods adopted for the protection of fauna in accordance with Condition 16.
- z) Amended staging plan in accordance with Condition 3.
- aa) Offset evidence in accordance with Condition 18.
- bb) Amended Waste Management Plan in accordance with Condition 46.
- cc) Materials Schedule in accordance with Condition 41.

### No Alterations

- 2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

### Staging

- 3. Before the development starts, a Staging Plan must be submitted to and approved by the Responsible Authority. When approved the Staging Plan will be endorsed and will then form part of the permit. The Staging Plan must be generally in accordance with *Reference 21-0021 Sheet 3a prepared by Thomas Anderson Design dated 2 June 2020 Issue D* but amended to show:
  - a) Incorporation of the construction of Pagett Road, Trafford Road and Sky Way, in the first stage that involve dwellings with access to those roads.
  - b) The extension to the Clifton Grove Reserve within one of the stages.
- 4. The development of the land must proceed in the order of stages as shown on the endorsed staging plan except with the written consent of the Responsible Authority.

### Section 173 Agreement

- 5. Before the development starts, the owner of the site must enter into an agreement under Section 173 of the *Planning and Environment Act 1987* with the Responsible Authority addressing the following

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Signature for the  
Responsible Authority

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## PLANNING PERMIT

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Conditions Continued –

matters:

- a) Waste Management. The owner/s of the land must provide for:
  - The care and management of the private roads, car parking areas, landscaping and other common areas;
  - Rights for Frankston City Council and other servicing authorities to enter the land for the purposes of providing municipal and like services to the land;
  - The maintenance of suitable public liability insurance;
  - The provision of releases and indemnity to Frankston City Council and other servicing authorities in connection with entry on to the land; and
  - The acknowledgement that Frankston City Council may withdraw the provision of municipal services to or from the land, if the private roads become unsafe for vehicular traffic.
- b) 10 Metre Buffer.
  - The 10 metre wide 'no habitable building' buffer must be maintained along the rear boundary of all dwellings adjoining the industrial zone to the satisfaction of the Responsible Authority.
  - The owners of all dwellings adjoining the industrial zone must ensure that plantings within the buffer area as shown on the relevant endorsed Landscape Plan are maintained in good condition to the satisfaction of the Responsible Authority, including the replacement of any dead, damaged or diseased plantings, to the satisfaction of the Responsible Authority.
- c) Reserve.
  - Within two (2) years of the completion of the development, the Reserve extension land must be transferred to Council by the owner at no cost to Council. The transfer of land will be recognised as a portion of any required public open space contribution, with the remainder to be paid in cash or works in kind at the time of subdivision.
  - Before the transfer of the land, a quote, which is prepared by a suitably qualified person or firm, must be submitted to and approved by the Responsible Authority. The quote must provide details of the costs to maintain the approved Landscape Plan for Clifton Grove Reserve extension on the subject site for an 18-month period from the date the land is transferred, in accordance with the approved landscape plans.
  - Once approved, 150% of the cost quoted must be paid to Frankston City Council as a maintenance bond prior to the transfer of the land. Upon completion of the 18-month maintenance period, if the Responsible Authority is satisfied that all the conditions of the Landscape Management and Landscape Plans have been met, the maintenance bond(s) originally paid will be refunded to the developer.
- d) Public Roads
  - The public road extensions (Pagett Road, Trafford Road and Sky Way) must be vested in Council within two (2) years of the completion of the development.
  - The public roads (including Pagett Road) must be constructed in accordance with the planning permit and staging plan by the owner to the satisfaction of Council prior to being

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## PLANNING PERMIT

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vested to Council. In the absence of an approved subdivision of the development hereby permitted the construction of the roads to service the development (that are to come into public management) shall be undertaken in accordance with the provisions of the Subdivision Act, 1988 and any associated regulations as though those provisions applied (with the exception of references to certified plans) and to the satisfaction of the Responsible Authority. To this effect the provisions of Sections 15, 16 and 17 are applied in relation to the requirements for engineering plans for works, compliance with standards of works and construction and maintenance of works, inclusive of prescribed fees.

- Before the roads are vested in Council, a quote for all street trees and landscaping within the public road envelope must be submitted to and be approved by the Responsible Authority. The quote must provide details of the costs to maintain the trees and landscaping for an 18-month period from the date of the planting inspection in accordance with the approved landscape plan. During the maintenance period, dead, vandalised or missing trees are to be replaced.
- Once approved, 150% of the cost quoted must be paid to Frankston City Council prior to the vesting of the roads. Upon completion of the 18-month maintenance period, if the Responsible Authority is satisfied that all trees and landscaping have been maintained, the maintenance bond(s) originally paid will be refunded to the developer.

The applicant must cover all costs relating to the preparation and registration of the Agreement (including costs incurred by the Responsible Authority).

The Section 173 Agreement must be registered in accordance with the provisions of Section 181 of the *Planning and Environment Act 1987*.

### Landscape Masterplan

6. Before the development starts, a Landscape Masterplan to the satisfaction of the Responsible Authority must be submitted to and be approved by the Responsible Authority. The Landscape Masterplan must be drawn to scale and fully dimensioned. When approved the Landscape Masterplan will be endorsed and will then form part of the permit. The Landscape Masterplan must be generally in accordance with *Ref 21-0021 Landscape Concept Masterplan prepared by Genus Landscape Architects dated 29 May 2020*, but amended to show changes required by Condition 1 and the following details:
  - a) Correct North Orientation Point
  - b) Proposed layout of the extension to Clifton Reserve including the continuation of the bollards to the boundary of the reserve and connections to existing pathways. Narrow areas between the pathway and road reserve to be landscape with low lying indigenous grasses.
  - c) An extension of the pathway from Access Way to join Laneway 2 (to reduce creation of future desire lines).
  - d) Low maintenance landscaping to be provided along the southern boundary surrounding the pathway, open space entrance and carparks to the east of Trafford Road.
  - e) Low maintenance landscaping to replace the lawn in the following areas:
    - a. to the south of residents 23 and 24

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Conditions Continued –

- b. east of residence 118
- c. north of residences fence lines facing Laneway 4 (between the road and fence line.)
- d. within the proposed pedestrian link and visitor carparks to Raynes Close
- e. Along the fence line (east, west and south) of residents 48 to 55
- f. west of residence 105
- f) A minimum of one canopy tree to be provided within the front and rear open space of all dwellings. (no reduction in the proposed number of canopy trees to be provided)
- g) Signage design and locations, seating design and locations and a surface treatment palette. (coloured concrete pathways to be nominated in Golden Beach)
- h) A planting theme of a minimum 40% Indigenous and 40% native within each plant group. (select alternative to *Pennisetum alopecuroides*)
- i) Bollards to also be installed (with maintenances access) at the intersections of roads and pedestrian paths/parks, and without any areas to avoid future parking of cars on lawn areas.
- j) Relocation seating to outside the canopy dripline line of tree 96. Canopy dripline to be mulched.

### Detailed Landscape Plan

7. Before any development starts for a stage, a Detailed Landscape Plan for that stage to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Detailed Landscape Plan must be drawn to scale and fully dimensioned and must be consistent with the endorsed Landscape Masterplan and must show:
- a) The location of plantings in any road reserve and municipal reserve;
  - b) A survey (including botanical names) of all existing vegetation to be retained to include tree number, Tree Protection Zones (TPZ) and Structural Root Zones (SRZ);
  - c) The delineation and details of surface finishes of all garden beds, grassed areas, pathways, driveways, retaining walls and other landscape works including areas of cut and fill throughout the site;
  - d) Existing buildings on the adjoining properties within three metres of the boundary;
  - e) Planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - f) A range of plant types from ground covers to large shrubs and trees;
  - g) Landscaping and planting within all open private and public areas of the site;
  - h) Adequate planting densities (e.g.: plants with a mature width of 1 metre, planted at 1 metre intervals);
  - i) A planting theme of a minimum 40% Indigenous and 40% native within each plant group
  - j) All existing environmental weed species are to be removed from the site and environmental and noxious weeds found in the 'Frankston's Invasive pest guide (2019)' are not to be planted;
  - k) Street trees and feature trees to be provided in the advanced form in accordance with Council Standard drawing Tree planting Details (Advanced street tree- subdivisional development no. SD521 and SD525);
  - l) The provision of notes on the landscape plan regarding site preparation, removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements;

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Conditions Continued –

- m) WSUD treatments such as raingardens and water tanks; and
  - n) All tree stock used must be in accordance with AS2303-2015 Tree stock for Landscape Use.
  - o) Canopy trees and other plantings within the 10 metre buffer to provide an effective visual screen of at least 8 metres in height at maturity.
8. Before the dwellings are occupied for each stage, the landscaping as shown on the endorsed Detailed Landscape Plan for the relevant stage of the development must be carried out and completed to the satisfaction of the Responsible Authority, or at such later date as is approved by the Responsible Authority in writing.
9. The landscaping shown on the endorsed plans for each stage must be carried out and completed and thereafter maintained to the satisfaction of the Responsible Authority, including replacing any dead, diseased or damaged trees.

### Clifton Grove Reserve Plan

10. Before the commencement of works for the stage including the reserve, a detailed Landscape Plan for the Clifton Reserve extension must be prepared, consistent with the endorsed Landscape Masterplan and to the satisfaction of the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must include and not be limited to the following:
- a) Links to the existing pathway network;
  - b) Continuation of the existing fencing
  - c) A planting plan (to include rabbit protection) of 100% indigenous (Healthy Woodland EVC);
  - d) Canopy tree cover to achieve a mature canopy of 20% of the site. Trees to be provided within mulched gardens beds
  - e) Sign design and locations;
  - f) Seating design and locations;
  - g) Maintenance schedule; and
  - h) Costings (installation and 18 months maintenance).
11. Before any dwellings are occupied for the stage including the reserve, the works as shown on the endorsed Clifton Reserve Landscape Plan must be carried out and completed to the satisfaction of the Responsible Authority or at such later date as is approved by the Responsible Authority in writing.

### Tree Protection

12. Before any development starts for any stage, a Tree Protection Management Plan prepared in accordance with Frankston City Council's 'Arboricultural Report Writing Guide' must be submitted to and approved by the Responsible Authority. The Tree Protection Management Plan must address the management and maintenance of all trees to be retained on the site and within close proximity on neighbouring properties and must contain as a minimum but not limited to the following information to ensuring the retained trees remain healthy and viable during and following construction:
- a) A site plan showing TPZs, SRZs, tree protection fence locations and any relocations required and any areas where ground protection systems will be used;
  - b) A clear photograph of each tree;

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Conditions Continued –

- c) Any specific damage/faults evident within each tree prior to demolition or construction. These photographs must be supplied within the Tree Protection Management Plan.
  - d) Restricted activities in the TPZ;
  - e) Key supervision and monitoring stages of the development including pre-demolition, pre-construction, and post construction stages;
  - f) Details of any TPZ encroachments including:
    - i. Details of exploratory root investigation;
    - ii. Alternative construction techniques;
    - iii. Supervision; and
    - iv. Details of any root pruning.
  - g) Methods for installation of services e.g. sewerage, storm water, telecommunications, electricity etc.;
  - h) Remedial works as required including a detailed photographic diagram specifying what pruning will occur;
  - i) Final Certification of Tree protection template. The Final Certification Report Template as required in the Tree Protection Management Plan must be completed and submitted to the satisfaction of the Responsible Authority before the dwellings are occupied or at such later date as is approved by the Responsible Authority in writing.
13. Tree protection must be carried out in accordance with the Australian Standard AS 4970-2009 Protection of trees on development sites and the endorsed Tree Protection Management Plan to the satisfaction of the Responsible Authority. Before any works for each stage, vegetation protection fencing must be erected around the TPZ of trees to be retained. The protection fencing must be constructed to the satisfaction of the Responsible Authority and remain in place at least until all works for the relevant stage are completed to the satisfaction of the Responsible Authority, within this area:
14. Any tree pruning required to the canopy of any tree is to be undertaken by a qualified arborist to the Australian Standard– Pruning of Amenity Trees AS4373-1996 and to the satisfaction of the Responsible Authority.
15. Vegetation removal and disposal must not damage trees and vegetation to be retained.
- Fauna Identification, Salvage and Relocation**
16. Before any works associated with the removal of vegetation start, all hollows must be inspected for the presence of fauna. The inspection must be carried out by qualified and experience expert and to the satisfaction of the Responsible Authority. A report on the findings and mitigation methods adopted must be submitted to and approved by the Responsible Authority. Once approved the fauna identification report will be endorsed and will then form part of the permit.
17. During works associated with the removal of native vegetation, a suitably qualified and experienced Zoologist or Wildlife Handler must be present. If fauna is located immediately prior to or during felling operations, they must be salvaged and relocated by a suitably qualified and experienced Zoologist or

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## PLANNING PERMIT

PERMIT NUMBER: 63/2021/P

Conditions Continued –

Wildlife Handler in accordance with all relevant legislation and approvals, and if appropriate, in consultation with the Department of Environment Land Water and Planning (DELWP).

### Native Vegetation

18. Before any native vegetation is removed, evidence the required offset as nominated in the ecologist report prepared by Ecology and Heritage Partners dated March 2021 must be secured with evidence provided to the satisfaction of the Responsible Authority. The offset must meet the requirements of this permit. This evidence may be one or both of the following:
- An established first party offset site including a security agreement signed by both parties, and a management plan detailing the 10-year management actions and ongoing management of the site; and/or
  - Credit extract(s) allocated to the permit from the Native Vegetation Credit Register.
19. A copy of the offset evidence must be endorsed by the Responsible Authority and form part of this permit. The offset must achieve:
- Contribute gain of 0.062 general biodiversity equivalence units.
  - Be located within the Port Philip and Westernport Catchment Management Authority boundary or Frankston City Council municipal district.
  - Have a strategic biodiversity score of at least 0.144 (80 per cent of the strategic biodiversity score of the native vegetation approved for removal).
  - The offset must also secure 3 large trees.

### Environment

20. To prevent the spread of weeds listed under the *Catchment and Land Protection Act 1994*, all construction and maintenance equipment, earth moving equipment and associated machinery, must be made free of soil, seed and plant material before being taken to the works site and again before being removed from the works site to the satisfaction of the Responsible Authority.

### Construction and Environmental Management Plan

21. Before any development starts including the removal of vegetation, a Construction and Environmental Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed to form part of the permit. Any plans submitted must be consistent with all other documents approved as part of this permit. The plan must be drawn to scale with dimensions. The plan must include details of the following:
- Contact Numbers of responsible owner/contractor including emergency/24-hour mobile contact details.
  - Identification of possible environmental risks associated with development works.
  - Response measures and monitoring systems to minimise identified environmental risks, including but not limited to, vegetation protection, fauna protection, runoff, erosion, dust, litter, noise and light.
  - Location and specifications of sediment control devices on/off site.
  - Location and specifications of surface water drainage controls.
  - Location and specifications of fencing for the protection of trees and/or vegetation as required by

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Conditions Continued –

- the permit.
- g) Fauna salvage requirements.
  - h) Proposed drainage lines and flow control measures.
  - i) Location of all stockpiles and storage of building materials.
  - j) Location of parking for site workers and any temporary buildings or facilities.
  - k) Hours during which construction activity will take place.
  - l) The Construction Management Plan must be guided by the Urban Stormwater Best Practice Management Guidelines (CSIRO 1999).
  - m) Identification of possible risks throughout the construction process including but not limited to:
    - a. Erosion control during and post-construction
    - b. Sediment run-off control.
    - c. Vegetation protection.
    - d. Identification and presence of significance bird species prior to and during construction.
    - e. Minimising weed and pathogen spread.
    - f. Construction equipment access to the site and storage locations.
  - n) Stormwater management and on-site retention opportunities.
  - o) Location of the siting of any portable buildings and the areas that will be used for the storage of buildings materials during construction.
  - p) Provision for the management of all building and construction waste, including recycling of all materials generated during construction.
  - q) Opportunities to maximise energy efficiency and reduce reliance upon non-renewable resources and materials, including the use of solar and/or green power and appropriate building materials where appropriate.
  - r) Car parking for all persons engaged in construction.
  - s) Security fencing.

### Lighting Plan

- 22. Before the development starts, a lighting plan for private roads, pocket park and the link to 38R/M Access Way, must be submitted to the satisfaction of the Responsible Authority and approved by the Responsible Authority. When approved, the lighting plan will be endorsed and will form part of this permit.
- 23. The provisions, recommendations and requirements of the endorsed lighting plan must be implemented and complied with to the satisfaction of the Responsible Authority.
- 24. Before the dwellings are occupied for any stage, outdoor lighting must be provided, designed, baffled and located in accordance with the Lighting Plan to the satisfaction of the Responsible Authority to prevent any adverse effect on neighbouring land.

### Function Layout Plans

- 25. Before any development starts for a stage, a Functional Layout Plan for each stage must be submitted to and approved by the Responsible Authority. Once approved, the Functional Layout Plan for that stage will be endorsed and will then form part of the permit. The Functional Layout Plans must include

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Conditions Continued –

the following for each stage:

- a) Infrastructure connections, drainage, detention requirements, road reserve and pavement widths, footpaths, shared path vehicle crossovers, service conduit plan, intersection treatments, traffic management devices, turning movements of garbage collection vehicles, street signs, street lighting and street tree planting.

### Engineering Requirements

26. Provision of a Stormwater Detention System with a volume capable of retarding the 10-year ARI flow from the development site back to a 5-year ARI pre-development value to the satisfaction of the Responsible Authority.
27. Before any stage of the development starts, constructed detailed design plans and drainage computations of the internal stormwater drainage system for that stage including the method of connection to the existing Council drainage infrastructure to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Once approved, the detailed design plans and drainage computations will be endorsed and will then form part of the permit. All development must comply with the approved detailed design plans and drainage computations to the satisfaction of the Responsible Authority.
28. Stormwater Drainage Outfall must be constructed to the satisfaction of the Responsible Authority.
29. Water Sensitive Urban Design principles (WSUD) must be incorporated into the drainage design, which may include but not limited to the following components or a combination thereof:
  - a) On-site stormwater detention;
  - b) Rainwater tanks for harvesting and re-use of stormwater for landscape irrigation, etc.;
  - c) Permeable paving;
  - d) Soil percolation; and
  - e) Rain gardens providing extended detention and on-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.
30. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses.
31. Storm water drainage must be connected to stormwater Legal Point of Discharge as nominated and to the satisfaction of the Responsible Authority.
32. Soakage systems for Stormwater drainage must be provided with Geotechnical design to demonstrate that effective drainage can be provided without detriment to premises and/or other properties.
33. Stormwater runoff must achieve the following objectives for environmental quality, as set out in the Urban Stormwater Best Practice Environmental Guidelines (CSIRO) 1999:
  - a) 80% retention of the typical annual load of suspended solids;

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- b) 45% retention of typical annual load of total phosphorous; and  
c) 45% retention of typical annual load of total nitrogen.  
Water Quality works within the development must be provided to achieve compliance with the above best practice standards to the satisfaction of the Responsible Authority.
34. All new dwellings must achieve appropriate freeboard in relation to local overland flow paths to the satisfaction of the Responsible Authority.
35. Before the occupation of any stage of the development, as-constructed plans detailing any Water Sensitive Urban Design (WSUD) treatment measures including management and maintenance schedules to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority.
36. Vehicle crossings must be constructed to Frankston City Council's standards and specifications and to the satisfaction of the Responsible Authority.
37. Before the dwellings in any stage are occupied, areas set aside in that stage for parking vehicles, access lanes and paths as shown on the endorsed plans must be:  
(a) Constructed to the satisfaction of the Responsible Authority;  
(b) Properly formed to such levels that they can be used in accordance with the plans;  
(c) Surfaced with an all-weather sealcoat; and  
(d) Drained and maintained to the satisfaction of the Responsible Authority.  
Car spaces, access lanes and driveways must always be kept available for these purposes.
38. Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.  
  
Precautions must include, appropriate signage to AS 1743 Road Works Signing Code of Practice, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, enough to ensure public safety.  
  
All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.
39. Proposed Pagett Road, Trafford Road and Sky Way extension must be designed and constructed in accordance with the Frankston City Council Guidelines for Subdivisional, Multi-Dwelling & Industrial Developments to the satisfaction of Frankston City Council.
40. Pram crossings must be constructed to connect all footpaths and shared paths. Tactile ground surface indicators, warning and directional must be installed as required in accordance with AS1428.4.

### Urban Design

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Conditions Continued –

41. Before any development starts, a detailed schedule (including samples) of all external materials and finishes including coloured to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the schedule will be endorsed and form part of the permit. The development must comply with the approved materials, finishes and colour schedule.
42. All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to a standard that is well presented to neighbouring properties in a manner to the satisfaction of the Responsible Authority.
43. All externally located heating and cooling units, exhaust fans and the like must not be located adjacent to bedroom windows on adjoining properties and must not be located where they will be highly visible from any public area to the satisfaction of the Responsible Authority.
44. Mailboxes shall be provided to the proposed dwelling/s to the satisfaction of the Responsible Authority and Australia Post.
45. All plumbing work, sewer pipes etc. (except for spouting and stormwater pipes) associated with the dwellings must be concealed from general view.

### Waste Management Plan

46. The Waste Management Plan (WMP) *Reference IMP210157WMP01F02 Waste Management Plan prepared by Impact dated 12 May 2021*, amended to include the following:
  - a) Section 6.5.4.1 Hard Waste updated to accurately advise Council's hard waste process.
  - b) The updated plan, *Reference 21-0021 Sheet 23 'Waste Management Plan' prepared by Thomas Anderson Design dated 7 January 2020 Issue D* included as an appendix to the WMP.The WMP will be endorsed and will then form part of this permit.
47. The WMP must be implemented to the satisfaction of the Responsible Authority. The WMP must not be modified unless with the written consent of the Responsible Authority.
48. Prior to the completion of a stage of the development, all bin pads must be constructed and line marked with the associated dwelling number.

### Contaminated Land Requirements

49. Prior to the commencement of the buildings and works (excluding demolition and environmental audit works required to enable commencement of the construction of the development) the permit holder must provide to the satisfaction of the Responsible Authority:

An environmental audit statement under Part 8.3, Division 3 of the Environment Protection Act 2017 which states that the site is suitable for the use and development allowed by this permit; or

An environmental audit statement under Part 8.3, Division 3 of the Environment Protection Act 2017 which states that the site is suitable for the use and development allowed by this permit if the

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Conditions Continued –

recommendations made in the statement are complied with.

50. All the recommendations of the environmental audit or statement must be complied with to the satisfaction of the responsible authority, prior to commencement of use of the site. Written confirmation of compliance must be provided by a suitably qualified environmental consultant or other suitable person to the satisfaction of the responsible authority.

Compliance sign off must be in accordance with any requirements in the environmental audit statement recommendations regarding verification of works.

51. Where there are conditions on a Statement of Environmental Audit that require significant ongoing maintenance and/or monitoring, the applicant must enter into a Section 173 Agreement under the Planning and Environment Act 1987 providing for this to occur at the expense of the owner/s of the land. The Agreement must be executed on title prior to the occupation of any dwelling. The owner must meet all costs associated with drafting and execution of the Agreement, including those incurred by the responsible authority.

Should the land be unable to be remediated or the environmental audit statement conditions seek change to the form of development approved under this permit or extensive statement conditions for the future management of the site, the Responsible Authority may seek cancellation or amendment to the permit pursuant to Section 87 of the Planning and Environment Act 1987.

52. Prior to any remediation works being undertaken in association with the Environmental Audit, a 'remediation works' plan must be submitted to and approved by the Responsible Authority. The plan must detail all excavation works as well as any proposed structures such as retaining walls required to facilitate the remediation works. Only those works detailed in the approved remediation works plan are permitted to be carried out prior to the issue of an environmental audit statement.

53. The owner must ensure that no mud, dirt or dust is transferred from the site onto adjoining public roads to the satisfaction of the Responsible Authority. In the event that roads are affected, the owner must upon the direction of the Responsible Authority, take the necessary remedial action, to the satisfaction of the Responsible Authority.

### Acoustic Fencing

54. Before the development is completed, an acoustic fence must be erected along the side and rear boundaries of the land where it adjoins industrial properties, excluding where an acoustic fence is already provided and the fence between the connection to 38R/M Access Way. The minimum height must be 2.5 metres above natural ground level. The details of the design and acoustic qualities of the fence must be to the satisfaction of the Responsible Authority to demonstrate achievement of noise attenuation measures and limits required in the State Environment Protection Policy (Control of Noise from Commerce, Industry and Trade) No. N-1 or successor regulation.

### Cultural Heritage Management Plan

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## PLANNING PERMIT

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### Conditions Continued –

55. The construction of the development hereby approved must be carried out in the accordance with the approved Cultural Heritage Management Plan No.16077 prepared by Dr Rhiannon Stammers, Dr Tom Rymer and Genevieve Cini and approved by Bunurong Land Council on 6 January 2020.

### Satisfactorily Completed

56. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

### Permit Expiry

57. This permit will expire if one of the following circumstances applies:
- The development is not started within three (3) years of the date of this permit.
  - The development is not completed within six (6) years of the date of this permit.
- In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

### Notes

- A. **Asset Protection Permit**  
Prior to the commencement of construction the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Council's Engineering Services Department.
- B. **Extension of Time**  
Section 69 of the *Planning and Environment Act 1987* provides that before the permit expires or within 6 months afterwards, the owner or occupier of the land to which the permit applies may ask the responsible authority for an extension of time. Please note, if a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.  
  
Any extension of time request must be lodged with the relevant administration fee.
- C. **Variation to Planning Permit**  
Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.
- D. **Street Addressing**  
Street addresses are allocated by Council. It is a requirement under *Frankston City Council Community Local Law 2020 Part 2.12* for the owner or occupier of each property to clearly display the street numbering allocated by Council.  
  
Proposed street addresses can be obtained by contacting Council's Rates Department on 1300 322 322.
- E. **Suitably Qualified Environmental Consultant**  
A suitably qualified environmental consultant acceptable to the responsible authority may include an environmental auditor appointed under the Environment Protection Act 2017 or an environmental professional with qualifications and competence consistent with Schedule B9 of the National Environment Protection (Assessment of Site Contamination Measure 1999) (as amended 2013).

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### **IMPORTANT INFORMATION ABOUT THIS PERMIT**

#### **WHAT HAS BEEN DECIDED?**

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### **CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?**

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

#### **WHEN DOES A PERMIT BEGIN?**

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### **WHEN DOES A PERMIT EXPIRE?**

1. A permit for the development of land expires if:
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if -
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if -
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### **WHAT ABOUT APPEALS?**

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
  - An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
  - An application for review is lodged with the Victorian Civil & Administrative Tribunal.
  - An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
  - An application for review must state the grounds upon which it is based.
  - An application for review must also be served on the Responsible Authority.
  - Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.
- Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

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## Appendix 14: Planning permit for 26 Brunnings Road, Carrum Downs



### PLANNING PERMIT

FORM 4 Section 63 & 86

PERMIT NUMBER:	229/2019/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	26 Brunnings Road, Carrum Downs 3201
THE PERMIT ALLOWS:	Construction of two or more dwellings (162 two or three storey dwellings) on a lot in a General Residential Zone Subdivision (in stages) Removal of native vegetation

#### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

##### Amended Plans

- 1 Before the commencement of the development, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans prepared by Genton Architecture, dated 29 May 2020, comprising Drawing Nos. TP005-TP007 (inclusive), Revision D; TP010-TP015 (inclusive), Revision D; TP16 and TP17, Revision C; TP100-TP104 (inclusive), Revision D; TP110-TP112 (inclusive), Revision D; TP114-TP116 (inclusive), Revision D; TP118-TP120 (inclusive); Revision D; TP122-TP124 (inclusive), Revision D; TP125-TP127 (inclusive), Revision C; TP300-TP305 (inclusive), Revision D; TP310, Revision C; TP311, Revision B; TP312 and TP313, Revision A; TP400 and TP401, Revision D; TP700-TP706 (inclusive), Revision D; TP707-TP719 (inclusive), Revision A; TP900-TP903 (inclusive), Revision D; and TP910 and TP911, Revision D but modified to show:
  - (a) Changes to the axe handle section of the land as depicted on the drawing identified as 'Sketch Plan 17.07.20 Brunnings Road Access Adjustment', including amendments to the siting and access for Townhouses 157, 158, 159, 160, 161 and 162, amendments to the landscaping (including additional landscaping to the west of Townhouse 156), and changes to the visitor parking;
  - (b) Changes to various floor plans and elevations as a consequence of Condition 1(a);
  - (c) Any modifications to the siting of Townhouse 94, or associated retaining walls, flowing from the investigation required by Condition 18(j);
  - (d) Provide a footpath in the road reserve from the western boundary of Hillview Drive to connect to the proposed footpath along northern side of new Hillview Drive.

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Responsible Authority

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

Conditions Continued –

- (e) Relocate the speed hump to Brunings Road, east of the proposed vehicle crossover servicing Townhouses 157 to 162 (inclusive) or relocate the vehicle crossover at least 1m offset from any part of the existing speed hump to ensure adequate clearance from other nearby existing crossovers.
- (f) Delete raised pedestrian crossing on Hillview Drive fronting the linear park and provide alternative non-priority crossing facility for pedestrians.
- (g) Provide notations to indicate width of accessways at 5.5m for two-way vehicle flow.
- (h) Provide passing area of 5.5 metres wide and 7 metres in length at all accessway interfaces with Hillview Drive, where two-way traffic circulation on straight sections of road is applicable to ensure adequate accessible and movement between an 85<sup>th</sup> percentile car and waste collection vehicles.
- (i) Adequate road reserves and carriageway widths provided for the laneways to accommodate appropriate access to the garages and to allow space for waste bins to be placed for collection without obstructing property access.
- (j) The intersections of Road A, Road B and Hillview Drive be designed to make the minor roads appear as lower order priority roads, modified materiality, or an alternate treatment ensuring drivers are delivered appropriate visual clues to slowing down and yielding when approaching the major road intersection.
- (k) Demonstration that the layout of all garages to provide internal space dimensions clear of obstructions such as overhead storage, bicycle parking, waste bin storage and/or internal door opening and clear of columns including TH types 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 16, 18, 19 and 20 in accordance with clause 52.06-9 of the Frankston Planning Scheme.
- (l) Garage door entries are widened to at least 2.8 metres in width.
- (m) Provide notations to indicate the on-street parallel parking visitor car parking spaces are 2.3 metres wide by 6.7 metres long to comply with clause 52.06-9 of the Frankston Planning Scheme.
- (n) Swept path checks to confirm the adequacy of the intersection designs, or the plans be modified accordingly;
- (o) Swept path checks to confirm waste trucks can drive through the site and collect bins from each dwelling appropriately, or the plans be modified accordingly.
- (p) Provide pram crossings at all intersections.
- (q) Townhouses 1, 91, 134, 136, 147 and 156 revised to have a single width garage similar to those of Townhouses 8 and 84 and to comply with ResCode Standard B14.
- (r) Townhouse 1 further modified to have windows on the southern elevation, at the ground floor and first floor.

Date Issued: 29 September 2020

Signature for the  
Responsible Authority

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

Conditions Continued –

- (s) Fencing generally in accordance with plan TP920 Revision A dated 03/06/2020 unless otherwise specifically required by these conditions.
  - (t) The fences of Townhouses 117-129 facing Road B and the fences of Townhouses 36-38, 41-42, 45-47, 50-52 facing a pedestrian link, all reduced to 1.5m to comply with ResCode Standard B32.
  - (u) Vegetated buffers of a minimum depth of 600mm and/or retaining walls to allow for landscaping on site boundaries. Where multiple retaining walls are required, these are to be spaced to allow the establishment of planting.
  - (v) Elevations for proposed three storey dwellings to clearly illustrate a building height of 11 metres or less.
  - (w) Additional detail shown for any screening proposed to comply with Standard B22 of ResCode. Any screening proposed is to be clearly illustrated including material, type and height of screening.
  - (x) Sixteen of the Type 8 dwellings modified to provide a shower at ground level.
  - (y) Details of external storage complying with Standard B32 of ResCode, including clarification that where 'overhead storage' in garages involves storage above vehicles, it is above vehicle bonnets.
  - (z) A revised Landscape Master Plan in accordance with Condition 6.
  - (aa) An updated Vegetation and Retention Removal Plan in accordance with Condition 11.
  - (bb) A Tree Protection Management Plan in accordance with Condition 18.
  - (cc) A revised Native Vegetation Removal Report in accordance with Conditions 22.
  - (dd) Infrastructure and Stormwater Management Strategy by SMEC dated 13 August 2019 in accordance with Condition 40.
  - (ee) Any changes as required by Functional Layout Plan in accordance with Condition 41.
  - (ff) A Waste Management Plan in accordance with Condition 64.
  - (gg) Details of the staging in accordance with Conditions 3 and 4.
- 2 The development and subdivision as shown on the endorsed plans must not be altered (unless the Frankston Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

### Staging Plan

- 3 Before any plans are certified under the *Subdivision Act 1998*, a staging plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the staging plan will be endorsed and form part of this permit.

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Signature for the  
Responsible Authority

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

Conditions Continued –

- 4 The staging plan must incorporate the construction of Hillview Drive, including the connection to east and west, in any stage that involves dwellings with access to Hillview Drive.

### Order of Stages

- 5 The subdivision of the land must proceed in the order of stages as shown on the endorsed staging plan except with the written consent of the Responsible Authority.

### Landscape Masterplan

- 6 Before any plans of subdivision are certified under the *Subdivision Act 1988*, a Landscape Masterplan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The Landscape Masterplan must be drawn to scale and fully dimensioned. When approved the Landscape Masterplan will be endorsed and will then form part of the permit. The Landscape Masterplan must be generally in accordance with the Landscape Masterplan Report prepared by SMEC Australia Pty Ltd, dated 29 May 2020, Revision C but amended to show changes required by Condition 1 of this permit.

### Detailed Landscape Plans

- 7 Before any development starts for a stage, a Detailed Landscape Plan for that stage to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Detailed Landscape Plan must be drawn to scale and fully dimensioned and must be consistent with the endorsed Landscape Masterplan and must show:
- (a) The location of plantings in any road reserve and municipal reserve;
  - (b) A survey (including botanical names) of all existing vegetation to be retained to include tree number, Tree Protection Zones (TPZ) and Structural Root Zones (SRZ);
  - (c) The delineation and details of surface finishes of all garden beds, grassed areas, pathways, driveways, retaining walls and other landscape works including areas of cut and fill throughout the site;
  - (d) Existing buildings on the adjoining properties within three metres of the boundary;
  - (e) Planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - (f) A range of plant types from ground covers to large shrubs and trees;
  - (g) Landscaping and planting within all open private and public areas of the site;
  - (h) Adequate planting densities (e.g.: plants with a mature width of 1 metre, planted at 1 metre intervals);

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Conditions Continued –

- (i) A planting theme of a minimum 30% Indigenous and 40% native within each plant group (excluding reserve area which must be 100% Indigenous planting details to be provided in the Bushland Reserve Plan);
  - (j) All existing environmental weed species are to be removed from the site and environmental and noxious weeds found in the 'Frankston's Invasive pest guide (2019)' are not to be planted;
  - (k) Bollards to be installed (with maintenances access) at the intersections of roads and pedestrian paths/parks;
  - (l) Eucalyptus sideroxylon nominated as the street tree along Hillview Drive;
  - (m) Street trees and feature trees to be provided in the advanced form in accordance with Council Standard drawing Tree planting Details (Advanced street tree- subdivisional development no. SD521 and SD525);
  - (n) Detailed design to demonstrate soil volumes for street trees and continuous rooting tunnels where required;
  - (o) An increase in the planting palette as recommended to also include indigenous species, deciduous trees with open canopies and fastigate forms to provide height in narrow areas;
  - (p) The provision of notes on the landscape plan regarding site preparation, removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements;
  - (q) An increase in the street trees nominated along Road A opposite the natural reserve. Street trees provided to the front of Units 15, 25, 35 and 44 along Road A;
  - (r) WSUD treatments such as raingardens and water tanks; and
  - (s) All tree stock used must be in accordance with AS2303-2015 Tree stock for Landscape Use.
- 8 Before the dwellings are occupied for each stage, the landscaping as shown on the endorsed Detailed Landscape Plan for the relevant stage of the subdivision must be carried out and completed to the satisfaction of the Responsible Authority, or at such later date as is approved by the Responsible Authority in writing.

The landscaping shown on the endorsed plans for each stage must be carried out and completed and thereafter maintained to the satisfaction of the Responsible Authority, including replacing any dead, diseased or damaged trees.

### Completing Works

- 9 Once the development has started, it must be continued and completed to the satisfaction of the Responsible Authority.

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Conditions Continued –

### Open Space Contribution and Reserve

- 10 The extended Oakwood Drive Reserve is to be shown on a plan of subdivision for any stage and is to be vested in the Responsible Authority as the public open space contribution (at no cost).

### Vegetation Retention and Removal Plan

- 11 Before any plans of subdivision are certified under the *Subdivision Act 1988*, a Vegetation Retention and Removal Plan prepared to the satisfaction of the Responsible Authority and by a suitably qualified arborist must be submitted to and approved by the Responsible Authority. When approved, the Vegetation Retention and Removal Plan will be endorsed and will form part of this permit. The Vegetation Retention and Removal Plan must be generally in accordance with the Tree Removal Plan prepared by Genton Architecture dated 26 May 2020 shown in TP017 Revision C but modified to show:

- (a) The **TPZ** of each tree in accordance with the Australian Standard AS 4970-2009 for each tree to be retained; and
- (b) The Structural Root Zones (**SRZ**) in accordance with the Australian Standard AS 4970-2009 for each tree to be retained.

- 12 No trees or native vegetation can be removed, damaged, destroyed, felled, lopped or uprooted without the prior written consent of the Responsible Authority except those trees designated for removal on the endorsed plans.

- 13 Within the **TPZ** of all retained trees, the existing grade must not be altered unless approved by a qualified Arborist and to the satisfaction of the Responsible Authority.

- 14 Before any works for each stage, vegetation protection fencing must be erected around the **TPZ** of trees to be retained and retained patches of native vegetation in accordance with Australian Standard 4970-2009 and to the satisfaction of the Responsible Authority. This fencing must be erected around the patches at a minimum distance of 2 metres from retained native vegetation and at a radius of 12 x the diameter at breast height (DBH) to a maximum of 15 metres but no less than 2 metres from the base of the trunk of the scattered trees.

The protection fencing must be constructed to the satisfaction of the Responsible Authority. The protection fencing must remain in place at least until all works for the relevant stage are completed to the satisfaction of the Responsible Authority, within this area:

- (a) No vehicular or pedestrian access, trenching or soil excavation is to occur.
- (b) No storage or dumping of tools, equipment or waste is to occur.
- (c) No trenching or entry and exit pits for underground services are to be constructed.

- 15 Any tree pruning required to the canopy of any tree is to be undertaken by a qualified arborist to the Australian Standard– Pruning of Amenity Trees AS4373-1996 and to the satisfaction of the Responsible Authority.

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- 16 Vegetation removal and disposal must not damage trees and vegetation to be retained.
- 17 Any root pruning of the root system of any tree to be retained is to be undertaken by hand by a qualified arborist and to the satisfaction of the Responsible Authority.

### Tree Protection Management Plan

- 18 Before any development starts for any stage, a Tree Protection Management Plan prepared in accordance with Frankston City Council's 'Arboricultural Report Writing Guide' must be submitted to and approved by the Responsible Authority. The Tree Protection Management Plan must address the management and maintenance of all trees to be retained on the site and within close proximity on neighbouring properties and must contain as a minimum but not limited to the following information to ensuring the retained trees remain healthy and viable during and following construction:
  - (a) A site plan showing **TPZs**, **SRZs**, tree protection fence locations and any relocations required and any areas where ground protection systems will be used;
  - (b) A clear photograph of each tree;
  - (c) Any specific damage/faults evident within each tree prior to demolition or construction. These photographs must be supplied within the Tree Protection Management Plan.
  - (d) Restricted activities in the **TPZ**;
  - (e) Key supervision and monitoring stages of the development including pre-demolition, pre-construction, and post construction stages;
  - (f) Details of any **TPZ** encroachments including:
    - i Details of exploratory root investigation;
    - ii Alternative construction techniques;
    - iii Supervision; and
    - iv Details of any root pruning.
  - (g) Methods for installation of services e.g. sewerage, storm water, telecommunications, electricity etc;
  - (h) Remedial works as required including a detailed photographic diagram specifying what pruning will occur;
  - (i) Final Certification of Tree protection template. The Final Certification Report Template as required in the Tree Protection Management Plan must be completed and submitted to the satisfaction of the Responsible Authority before the dwellings are occupied or at such later date as is approved by the Responsible Authority in writing.
  - (j) A non-invasive root investigation to determine if the siting of Townhouse 94 is appropriate to enable retention of Trees 37 and 38. The investigation must include an assessment on the

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location of the building footprint and alignment of retaining walls and determine if a modified design response is required.

- 19 Tree protection must be carried out in accordance with the Australian Standard AS 4970-2009 Protection of trees on development sites and the endorsed Tree Protection Management Plan to the satisfaction of the Responsible Authority.

### Fauna identification, salvage and relocation

- 20 Before any works associated with the removal of vegetation start, all hollows must be inspected for the presence of fauna. The inspection must be carried out by qualified and experience expert and to the satisfaction of the Responsible Authority. A report on the findings and mitigation methods adopted must be submitted to and approved by the Responsible Authority. Once approved the fauna identification report will be endorsed and will then form part of the permit.
- 21 During works associated with the removal of native vegetation start, a suitably qualified and experienced Zoologist or Wildlife Handler must be present. If fauna is located immediately prior to or during felling operations, they must be salvaged and relocated by a suitably qualified and experienced Zoologist or Wildlife Handler in accordance with all relevant legislation and approvals, and if appropriate, in consultation with the Department of Environment Land Water and Planning (DELWP).

### Native Vegetation

- 22 Before any plans of subdivision are certified under the *Subdivision Act 1988*, an amended Native Vegetation Removal Report (NVR) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Once approved, the report will be endorsed and will then form part of the permit. The report must be generally in accordance with the Native Vegetation Assessment Report prepared by EMERGE Associates Version D dated 30 June 2020.
- 23 Before any native vegetation is removed, evidence the required offset has been secured must be provided to the satisfaction of the Responsible Authority. The offset must meet the requirements of this permit. This evidence may be one or both of the following:
- (a) An established first party offset site including a security agreement signed by both parties, and a management plan detailing the 10-year management actions and ongoing management of the site; and/or
  - (b) Credit extract(s) allocated to the permit from the Native Vegetation Credit Register.
- 24 A copy of the offset evidence must be endorsed by the Responsible Authority and form part of this permit.
- 25 Within 30 days of endorsement of the offset evidence by the Responsible Authority, the permit holder must provide a copy of the endorsed offset evidence to the Department of Environment, Land, Water and Planning (DELWP).

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- 26 Before a Statement of Compliance is issued for the relevant stage of subdivision, any treatment of the retained vegetation, including pruning or maintenance works consistent with an arborist assessment must be carried out by the Owner of the land. The works must be:
- (a) Carried out to the satisfaction of the Responsible Authority;
  - (b) Certified by a level 5 or above qualified arborist as having been undertaken to appropriate standards; and
  - (c) Secured with a bond paid prior to the commencement of any works.

### General Environment conditions

- 27 To prevent the spread of weeds listed under the Catchment and Land Protection Act 1994, all construction and maintenance equipment, earth moving equipment and associated machinery, must be made free of soil, seed and plant material before being taken to the works site and again before being removed from the works site to the satisfaction of the Responsible Authority.

### Department of Environment, Land, Water and Planning

- 28 Before works start, the permit holder must advise all persons undertaking the vegetation removal or works on site of all relevant permit conditions and associated statutory requirements or approvals.
- 29 The total area of native vegetation proposed to be removed totals hectares, compromised:
- (a) 9 patches of native vegetation with a total area of 3.331 hectares [containing 25 large trees].
  - (b) 0 large scattered trees.
  - (c) 0 small scattered trees.
- 30 To offset the permitted clearing in accordance with Guidelines for the removal, destruction or lopping of native vegetation (DELWP 2017), the permit holder must secure general offset of 1.455 general habitat units:
- (a) Located within the Port Phillip and Westernport Catchment Management boundary or Frankston City Council municipal area;
  - (b) With a minimum strategic biodiversity score of at least 0.179.
- The offsets secured must also protect 25 large trees.
- 31 Before any native vegetation is removed evidence that the required offset by this permit has been secured must be provided to the satisfaction of the Responsible Authority. This evidence must be one or both of the following.
- (a) An established first party offset site including a security agreement signed by both parties, and a management plan detailing the 10-year management actions and ongoing management of the site, and/or

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- (b) Credit extract(s) allocated to the permit from the Native Vegetation Credit Register.
- 32 A copy of the offset evidence will be endorsed by the Responsible Authority and form part of this permit. Within 30 days of endorsement of the offset evidence, a copy of the endorsed offset evidence must be provided to Planning Approvals at the Department of Environment, Land, Water and Planning Port Phillip regional office.
- 33 Where the offset includes a first party offset(s), the permit holder must provide an annual offset site report to the Responsible Authority by the anniversary date of the execution of the offset security agreement, for a period of 10 consecutive years. After the tenth year, the landowner must provide a report at the reasonable request of a statutory authority.
- 34 Within 6 months of the conclusion of the permitted clearing of native vegetation under this permit, the offset requirements can be reconciled with the written agreement of the Responsible Authority and the Department of Environment, Land, Water and Planning.

### Construction and Environmental Management Plan

- 35 Before any development starts including the removal of vegetation, a Construction and Environmental Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the plan will be endorsed to form part of the permit. Any plans submitted must be consistent with all other documents approved as part of this permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must include details of the following:
- (a) Contact Numbers of responsible owner/contractor including emergency/24-hour mobile contact details.
- (b) Identification of possible environmental risks associated with development works.
- (c) Response measures and monitoring systems to minimise identified environmental risks, including but not limited to, vegetation protection, fauna protection, runoff, erosion, dust, litter, noise and light.
- (d) Location and specifications of sediment control devices on/off site.
- (e) Location and specifications of surface water drainage controls.
- (f) Location and specifications of fencing for the protection of trees and/or vegetation as required by the permit.
- (g) Fauna salvage requirements.
- (h) Proposed drainage lines and flow control measures.
- (i) Location of all stockpiles and storage of building materials.
- (j) Location of parking for site workers and any temporary buildings or facilities.

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- (k) Hours during which construction activity will take place.
- (l) The Construction Management Plan must be guided by the Urban Stormwater Best Practice Management Guidelines (CSIRO 1999).
- (m) Identification of possible risks throughout the construction process including but not limited to:
  - Erosion control during and post-construction.
  - Sediment run-off control.
  - Vegetation protection.
  - Identification and presence of significance bird species prior to and during construction.
  - Minimising weed and pathogen spread.
  - Construction equipment access to the site and storage locations.
- (n) Stormwater management and on-site retention opportunities.
- (o) Location of the siting of any portable buildings and the areas that will be used for the storage of buildings materials during construction.
- (p) Provision for the management of all building and construction waste, including recycling of all materials generated during construction.
- (q) Opportunities to maximise energy efficiency and reduce reliance upon non-renewable resources and materials, including the use of solar and/or green power and appropriate building materials where appropriate.
- (r) Car parking for all persons engaged in construction.
- (s) Security fencing.

### Bushland Reserve Management Plan

- 36 Before the development starts (including vegetation removal), a Bushland Reserve Management Plan for the extension of the Oakwood Drive Reserve prepared by a suitably qualified and experienced bushland ecologist and to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must include and not be limited to the following:
- (a) Site specific footpath location (including link to the Oakwood Drive Reserve);
  - (b) Fencing plan which must include Frankston Natural Reserve post and rail fencing providing both a maintenance and disabled maze pedestrian entrance (SD 563);
  - (c) A planting plan (to include rabbit protection) of a minimum 100% indigenous (Healthy Woodland EVC);

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- (d) Sign design and locations;
  - (e) Seating design and locations;
  - (f) Target weed removal/schedule;
  - (g) Maintenance schedule; and
  - (h) Costings (installation and 18 months maintenance).
- 37 Before any dwellings are occupied for each stage, the works as shown on the endorsed Bushland Management Plan must be carried and completed to the satisfaction of the Responsible Authority or at such later date as is approved by the Responsible Authority in writing.
- 38 Before a Statement of Compliance is issued for the relevant stage of subdivision a quote, which is prepared by a suitably qualified person or firm, must be submitted to and approved by the Responsible Authority. The quote must provide details of the costs to maintain the approved Bushland Reserve Management Plan on the subject site for an 18-month period, in accordance with the approved landscape plans. Once approved, 150% of the cost quoted must be paid to Frankston City Council as a maintenance bond prior to the issue of a Statement of Compliance for the final stage of the subdivision.
- If the Responsible Authority is satisfied that all the conditions of the Reserve Management and Landscape Plans have been met, the maintenance bond(s) originally paid will be refunded to the developer.
- 39 Before a Statement of Compliance is issued for the relevant stage of subdivision, a quote for all street trees and landscaping along Hillview Drive (public road) must be submitted to and approved by the Responsible Authority. The quote must provide details of the costs to maintain the trees and landscaping for an 18-month period from the date of the planting inspection in accordance with the approved landscape plan. During the maintenance period, dead, vandalised or missing trees are to be replaced. Once approved, 150% of the cost quoted must be paid to Frankston City Council. Upon completion of the 18-month maintenance period to the satisfaction of the Responsible Authority, the amount originally paid will be refunded to the developer.

### Infrastructure and Stormwater Management Strategy

- 40 Before any plans of subdivision are certified under the *Subdivision Act 1998*, an amended Infrastructure and Stormwater Management Strategy to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Once approved, the Infrastructure and Stormwater Management Strategy will be endorsed and will then form part of the permit. The amended Infrastructure and Stormwater Management Strategy must be generally in accordance with the Infrastructure and Stormwater Management Strategy prepared by SMEC dated 13 August 2019 but modified to include the following:
- (a) Overland Flows and 1% AEP storm event to be catered for. It is stated major overland flows (1 in 100 year ARI event) generated from the development will not be detained but will be conveyed

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overland through Road Reserves, however apart from Council Road, Hillview Drive, overland flows are conveyed along private roads and POS and discharged to Oakwood Drive Reserve and on to Dexter Mews which is not constructed to cater for these flows.

### Functional Layout Plans

- 41 Before a plan of subdivision is certified under the *Subdivision Act 1988* for a stage, an amended Functional Layout Plan for each stage must be submitted to and approved by the Responsible Authority. Once approved, the Functional Layout Plan for that stage will be endorsed and will then form part of the permit. The Functional Layout Plans must be generally in accordance with the Functional Layout Plan prepared by SMEC dated September 2019 but modified to include the following for each stage:
- (a) Infrastructure connections, drainage, detention requirements, road reserve and pavement widths, footpaths, shared path vehicle crossovers, intersection treatments, traffic management devices, turning movements of garbage collection vehicles and street lighting.
  - (b) Services within future Council reserve along southern site boundary to be relocated.

### Public Lighting Plan

- 42 Before the development starts, a public lighting plan other than for areas to be vested in the Council, must be submitted to the satisfaction of the Responsible Authority and approved by the Responsible Authority. When approved, the public lighting plan will be endorsed and will form part of this permit.
- 43 The provisions, recommendations and requirements of the endorsed public lighting plan must be implemented and complied with to the satisfaction of the Responsible Authority.

### Drainage

- 44 Provision of a Stormwater Detention System with a volume capable of retarding the 10-year ARI flow from the development site back to a 5-year ARI pre-development value to the satisfaction of the Responsible Authority.
- 45 Water Sensitive Urban Design principles (WSUD) must be incorporated into the drainage design, which may include but not limited to the following components or a combination thereof:
- (a) On-site stormwater detention;
  - (b) Rainwater tanks for harvesting and re-use of stormwater for landscape irrigation, etc;
  - (c) Soil preparation; and
  - (d) Rain gardens providing extended detention and on-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.
- 46 Any new fences within the flow path must be of an open style construction to allow for the passage of floodwaters/overland flow.

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- 47 All new lots must achieve appropriate freeboard in relation to local overland flow paths to the satisfaction of the Responsible Authority.
- 48 No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourse.
- 49 Stormwater runoff must achieve the following objectives for environmental quality, as set out in the Urban Stormwater Best Practice Environmental Guidelines (CSIRO) 1999:
  - (a) 80% retention of the typical annual load of suspended solids;
  - (b) 45% retention of typical annual load of total phosphorous; and
  - (c) 45% retention of typical annual load of total nitrogen.
- 50 Water Sensitive Urban Design (WSUD) installations must incorporate planting with appropriate indigenous plant species to reduce nutrients and pollution and run-off entering the environment to the satisfaction of the Responsible Authority.
- 51 Before any stage of the development starts, constructed detailed design plans and drainage computations of the internal stormwater drainage system including the method of connection to the existing Council drainage infrastructure to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Once approved, the detailed design plans and drainage computations will be endorsed and will then form part of the permit. All development must comply with the approved detailed design plans and drainage computations to the satisfaction of the Responsible Authority.
- 52 Before a Statement of Compliance is issued for any stage of the subdivision, as-constructed plans detailing any Water Sensitive Urban Design (WSUD) treatment measures including management and maintenance schedules to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority.

### Infrastructure

- 53 Vehicle crossing must be constructed to Frankston City Council's standards and specifications and to the satisfaction of the Responsible Authority.
- 54 Before the dwellings in any stage are occupied, areas set aside in that stage for parking vehicles, access lanes and paths as shown on the endorsed plans must be:
  - (a) Constructed to the satisfaction of the Responsible Authority;
  - (b) Properly formed to such levels that they can be used in accordance with the plans;
  - (c) Surfaced with an all-weather sealcoat; and
  - (d) Drained and maintained to the satisfaction of the Responsible Authority.Car spaces, access lanes and driveways must always be kept available for these purposes.

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- 55 Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.

Precautions must include, appropriate signage to AS 1743 Road Works Signing Code of Practice, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, enough to ensure public safety.

- 56 All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.

### Subdivision Development conditions

- 57 Before a Statement of Compliance is issued for any stage, roadworks, drainage and associated works for that stage must be provided, constructed and completed in accordance with plans/specifications approved by Council and must include (but not limited to) the below:

- (a) Road Pavement Design/Makeup;
- (b) Drainage System Design/Layout and 100-year flow paths to be accommodated;
  - i Service Conduit Plan;
  - ii Traffic Management/Calming devices/Signage/Line marking/Metcon Marking/Signing;
  - iii Kerb and Channel;
  - iv Construction of vehicle crossings for each lot at locations satisfactory to Council and to Council standards and specifications;
- (c) Footpaths;
- (d) Pedestrian Paths/Signing;
- (e) Street Signs;
- (f) Street Tree Planting;
- (g) Fencing of Municipal and Tree Reserves;
- (h) Filling of land/Placement/Material;
- (i) Street Lighting and Upgrade of street lighting, including lighting to public spaces;
- (j) Internal pavement is to be constructed to a standard capable of accommodating Waste service vehicles and turning manoeuvres;
- (k) Environmental Site Management Plan; and
- (l) Amenity Control during Construction.

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### D-Spec and R Spec Planning Permit Condition: FCC

58 Before a Statement of Compliance for any stage is issued, "as constructed" drawings and data must be submitted to the satisfaction of Responsible Authority in the following format:

- (a) Engineering drawings/data in "MapInfo Native or MIF/MID" and pdf digital format.
- (b) As constructed digital data of the drainage information component of the subdivision, in accordance with the current version of D-SPEC\*.
- (c) As constructed digital data of the road information component of the subdivision, in accordance with the current version of R-SPEC\*.

\*Consultant/developer specifications for the delivery of digital data to local government.  
[www.dspec.com.au](http://www.dspec.com.au)

### Materials, finishes and colour schedule

59 Before any development starts, a detailed schedule and sample panel of all external materials and finishes including coloured to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the schedule will be endorsed and form part of the permit. The development must comply with the approved materials, finishes and colour schedule.

### Urban design

- 60 All works on or facing the boundaries of adjoining properties must be finished and surface cleaned to the satisfaction of the Responsible Authority.
- 61 All plumbing work, sewer pipes etc. (except for spouting and stormwater pipes) associated must be concealed from general view.
- 62 Before the dwellings are occupied for any stage, outdoor lighting must be provided, designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on neighbouring land.

### Amenity

- 63 The amenity of the area must not be detrimentally affected by the development including through the:
  - (a) Transport of materials, goods or commodities to or from the land;
  - (b) Appearance of any building, works or materials;
  - (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil;
  - (d) Presence of vermin;
  - (e) Other as appropriate; or

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- (f) In any other way.

### Waste Management Plan

- 64 Before any development starts, an amended Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Waste Management Plan will be endorsed and form part of this permit. The plan must be generally in accordance with Waste Management Plan - Reference No. 30042615E, prepared by SMEC, dated 1 May 2019 but amended to detail the method of garbage collection from the site, times and frequency of garbage collection, methods to discourage littering, such as provision of waste bins to the satisfaction of the Responsible Authority. The endorsed Waste Management Plan must be complied with at all times unless with the prior written approval of the Responsible Authority.

### APA

- 65 Easements in favour of "Australian Gas Networks (VIC) Pty Ltd" must be created on the plan to the satisfaction of APT.
- 66 The plan of subdivision submitted for certification must be referred to APT O&M Services Pty Ltd, in accordance with Section 8 of the *Subdivision Act 1988*.

### Melbourne Water

- 67 Prior to the issue of a Statement of Compliance, the Owner shall enter into and comply with an agreement with Melbourne Water Corporation for the acceptance of surface and storm water from the subject land directly or indirectly into Melbourne Water's drainage systems and waterways, the provision of drainage works and other matters in accordance with the statutory powers of Melbourne Water Corporation.
- 68 Prior to a Statement of Compliance, a Council approved drainage strategy for the development must be submitted to Melbourne Water demonstrating the proposed alignment for the 1 in 5 year ARI flows and drainage infrastructure and the overland flow paths directions for the 1 in 100 year ARI flood event, to the satisfaction of Melbourne Water.
- 69 Prior to the issue of a Statement of Compliance, Council approved engineering plans of the subdivision (in electronic format) are to be forwarded to Melbourne Water for our records.
- 70 Any road or access way intended to act as a stormwater overland flow path must be designed and constructed to comply with Council's requirements and standards.
- 71 All new lots must achieve appropriate freeboard in relation to any local overland flow paths to Council's satisfaction.
- 72 Prior to the commencement of works, a separate application direct to Melbourne Water's Asset Services team must be made for formal approval, must be made before any new or modified connection is made to a Melbourne Water asset.

Date Issued: 29 September 2020

Signature for the  
Responsible Authority

A handwritten signature in blue ink, appearing to read "Liana Hyslop".

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

### Conditions Continued –

- 73 Stormwater runoff from the subdivision must achieve State Environment Protection Policy (Waters of Victoria) objectives for environmental management of stormwater as set out in the 'Urban Stormwater Best Practice Environmental Management Guidelines (CSIRO) 1999'.
- 74 Prior to the issue of a Statement of Compliance, evidence confirming that the estate has a free drainage (approved) outfall and the capacity of the downstream system has sufficient capacity and/or stormwater will be retarded back to the sufficient capacity of the downstream drainage system (whichever is appropriate), must be submitted and accepted by Council, and forwarded to Melbourne Water for our records.
- 75 At least 21 days prior to commencement of works, a Site Management Plan detailing pollution and sediment control measures, must be submitted to Melbourne Water for our review and records.
- 76 The Plan of Subdivision must be referred to Melbourne Water, in accordance with Section 8 of the *Subdivision Act 1988*.

### South East Water

#### Potable Water

- 77 The owner of the subject land must enter into an agreement with South East Water for the provision of drinking water supply and fulfil all requirements to its satisfaction.

### General

- 78 Prior to certification, the Plan of Subdivision must be referred to South East Water, in accordance with Section 8 of the *Subdivision Act 1988*.
- 79 The Plan of Subdivision must be accompanied by an Owners Corporation Schedule. All lots shown on the Plan of Subdivision must be included in the Owners Corporation schedule.

Or

The owner of the subject land can enter into an agreement with South East Water for the provision of separate services to each individual lot.

The certified Plan of Subdivision will need to show sewerage supply easement over all existing and/or proposed South East Water sewer mains located within the land, to be in favour of South East Water Corporation pursuant to Section 12(1) of the Subdivision Act.

The certified Plan of Subdivision should show water supply easements over all existing and/or proposed South East Water mains located within the land, to be in favour of South East Water Corporation pursuant to Section 12(1) of the Subdivision Act.

### United Energy

- 80 The plan of subdivision submitted for certification must be referred to United Energy Distribution Pty Ltd in accordance with Section 8 of the *Subdivision Act 1988*.

Date Issued: **29 September 2020**

Signature for the  
Responsible Authority

A handwritten signature in blue ink, appearing to read "Laura Thompson".

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

Conditions Continued –

The applicant must:–

Enter into an agreement with United Energy Distribution Pty Ltd for the extension, upgrading or rearrangement of the electricity supply to lots on the plan of subdivision. A payment to cover the cost of such work will be required.

Provide electricity easements internal and external to the subdivision in favour of United Energy Distribution Pty Ltd to service the lots on the plan of subdivision and/or abutting land as required by United Energy Distribution Pty Ltd. The provision of reserves for electricity substations may also be required.

### Country Fire Authority

- 81 The subdivision as shown on the endorsed plans must not be altered without the consent of CFA.

### Water Supply Requirement

- 82 A copy of the proposed water reticulation for fire hydrants MUST be forwarded to CFA for approval prior to commencement of works.
- 83 The maximum distance between fire hydrants shall be no more than 120 metres.
- 84 Below ground operable hydrants meeting the requirements of Australian Standard 3952 Water Supply-Spring hydrant valve for waterworks purposes must be provided.
- 85 The hydrants must be identified with marker posts and road reflectors as applicable to the satisfaction of the County Fire Authority.
- 86 There shall not be any mechanical in-line metering device attached to the fire service.
- 87 Note- CFA's requirements for identification of hydrants are specified in 'Identification of Street Hydrants for Firefighting Purposes' available under publications on the CFA web site ([www.cfa.vic.gov.au](http://www.cfa.vic.gov.au)).

### Roads

- 88 Roads must be constructed to a standard so that they are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.
- 89 Roads must have a minimum trafficable width of 3.5 metres at all times and be clear of encroachments for at least 0.5 metres on each side and 4 metres above the access way.

### General

- 90 The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity and gas services to each lot shown on the endorsed plan in accordance with the authority's requirements and relevant legislation at the time.

Date Issued: 29 September 2020

Signature for the  
Responsible Authority

A handwritten signature in blue ink, appearing to read "Larissa Hetherington".

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## PLANNING PERMIT

PERMIT NUMBER: 229/2019/P

Conditions Continued –

- 91 All existing and proposed easements and sites for existing or required utility services and roads on the land must be set aside in the plan of subdivision submitted for certification in favour of the relevant authority for which the easement or site is to be created.
- 92 The plan of subdivision submitted for certification under the *Subdivision Act 1988* must be referred to the relevant authority in accordance with Section 8 of that Act.

### Permit Expiry

- 93 This permit will expire if one of the following circumstances applies:
- (a) All stages of the approved subdivision have been certified within five years of the date of this permit;
  - (b) Any stage of the approved subdivision is not completed within five years of the certification of the plan of subdivision under the *Subdivision Act 1988*; or
  - (c) The development is not started within three (3) years of the date of this permit;
  - (d) The development is not completed within six (6) years of the date of this permit.

In accordance with section 69 of the *Planning and Environment Act 1987*, a request may be submitted to the Responsible Authority within the prescribed timeframes for an extension of the periods referred to in this condition.

Date Issued: 29 September 2020

Signature for the  
Responsible Authority

A handwritten signature in blue ink, appearing to read "Kaitia Hepburn", written over a horizontal line.

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### IMPORTANT INFORMATION ABOUT THIS PERMIT

#### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

#### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if:
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if:
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision:
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
  - An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
  - An application for review is lodged with the Victorian Civil & Administrative Tribunal.
  - An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
  - An application for review must state the grounds upon which it is based.
  - An application for review must also be served on the Responsible Authority.
  - Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.
- Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

{LAST PAGE OF PERMIT}

## Appendix 15: Planning permits for 34 Mountain Avenue, 4B, 4C and 4D Kristen Close, Frankston South

### a) 34 Mountain Avenue, Frankston South



## PLANNING PERMIT

FORM 4 Section 63 & 86

PERMIT NUMBER:	191/2020/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	34 Mountain Avenue, Frankston South 3199
THE PERMIT ALLOWS:	To construct one (1) double storey dwelling on a lot in a Design and Development Overlay Schedule 1 (DDO1), to remove substantial trees in a Significant Landscape Overlay Schedule 3 (SLO3)

#### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

##### Amended Plans

- Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans *Drawing Number 20/0208 Sheets 1-4 dated 30 July 2020 amended 8 September 2020 Revision 1* submitted with the application but modified to show:
  - Trees 5, 6, 86 and 90 removed.
  - Tree Protection Zones of all retained trees (excluding weed species) nominated on all relevant plans.
  - Location of tree and vegetation protection fencing in accordance with Conditions 5, 6 and 7.
  - Revegetation Plan in accordance with Condition 9.

##### No Alterations or Changes

- The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

##### Completion of Works

- Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

##### Tree and Vegetation Protection

- No trees or native vegetation shall be removed, damaged, destroyed, felled, lopped or uprooted without the prior written consent of the Responsible Authority except those trees and native vegetation designated for removal on the endorsed plans.

Date Issued: 30 September 2020

Signature for the  
Responsible Authority

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TP156 27/05/2009



## PLANNING PERMIT

PERMIT NUMBER: 191/2020/P

Conditions Continued –

5. Trees to be retained must be protected from disturbance associated with the development. Before works commence Tree Protection Fencing must be erected around the Tree Protection Zone of trees to be retained which are in proximity to the works (except where an encroachment is shown on the endorsed plans) in accordance with Australian Standard AS 4970-209 'Protection of Trees on Development Sites' and to the satisfaction of the Responsible Authority.
6. All tree and vegetation protection fencing must be constructed of star pickets, chain mesh, and paraweb or similar materials, to the satisfaction of the Responsible Authority. The fencing must be erected to form a visual and physical barrier and have a minimum height of 1.50 meters above ground level. The tree protection fences must remain in place until all works are completed to the satisfaction of the Responsible Authority.
7. The tree and vegetation protection fencing, as identified on the endorsed plans, must be maintained and the requirements below must be observed within the fenced areas until the completion of the works, to the satisfaction of the Responsible Authority:
  - i. No vehicular or pedestrian access associated with the works.
  - ii. The existing soil level must not be altered either by fill or excavation.
  - iii. The soil must not be compacted or the soil's drainage changed.
  - iv. Open trenching to lay underground services (e.g.: drainage, water, gas, etc.) must not be used unless approved by the Responsible Authority. If approval is given, a qualified Arborist must be on site to oversee this process.
  - v. No storage of equipment, machinery or material is to occur.
  - vi. No fuels, oils, chemicals, poisons, rubbish or other materials harmful to trees are to be disposed of or stored.
  - vii. Nothing whatsoever, including temporary services wires, nails, screws or any other fixing device, is to be attached to any tree.
  - viii. No building or any other structure is to be erected.
  - ix. The roots of trees and shrubs must not be severed or injured.
  - x. Any tree pruning required to the canopy of any tree is to be undertaken by a qualified arborist to the Australian Standard AS4373-1996 - Pruning of Amenity Trees and to the satisfaction of the Responsible Authority.
  - xi. Vegetation removal and disposal must not damage trees and vegetation to be retained.
  - xii. Any root pruning of the root system of any tree to be retained is to be undertaken by hand by a qualified arborist and to the satisfaction of the Responsible Authority.

### Removal of Environmental and Noxious Weeds

8. All existing environmental and noxious weed species are to be removed from the site before the occupation of the development or at such later date as is approved by the Responsible Authority in writing. Environmental and noxious weeds that are found in the 'Frankston City Council Invasive Species Guide (2019)' are not to be planted.

Date Issued: 30 September 2020

Signature for the  
Responsible Authority \_\_\_\_\_

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## PLANNING PERMIT

PERMIT NUMBER: 191/2020/P

Conditions Continued –

### Revegetation Plan

9. Before the development commences an indigenous revegetation plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of this permit. The plan must show:
  - a) Location of planting.
  - b) Number of species.
  - c) Where appropriate trunks of felled trees are to be placed on the subject land as fauna habitat.
  - d) Type of species to be planted including scientific and common name. Species are to be indigenous to the area.
  - e) Time of planting.
  - f) Maintenance works including weed control.
  - g) Protection of planting.

### Prior to Occupation

10. The revegetation as shown on the endorsed revegetation plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development or at such later date as is approved by the Responsible Authority in writing.
11. The revegetation shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.

### Fauna Identification, Salvage and Relocation

12. Prior to the commencement of works, a pre-clearance fauna survey and inspection of all trees to be removed (including all hollows) and all understorey vegetation to be removed must be carried out by qualified and experienced Zoologist with experience in wildlife salvage to the satisfaction of the Responsible Authority. A report on the findings and mitigation methods adopted must be submitted to the Responsible Authority.
13. During all tree and vegetation removal, a suitably qualified and experienced zoologist and wildlife handler must be present to undertake fauna salvage and relocation.

### General Environment Protection Conditions

14. Before any land development works commence (including any demolition, excavation, tree removal, the delivery of building/construction materials and/or temporary buildings) the permit holder must advise all persons undertaking the vegetation removal/works on site of all relevant conditions on this permit.
15. To prevent the spread of weeds listed under the *Catchment and Land Protection Act 1994*, all construction and maintenance equipment, earth moving equipment and associated machinery, must be

Date Issued: 30 September 2020

Signature for the  
Responsible Authority \_\_\_\_\_

A handwritten signature in blue ink, appearing to be "R. R.", written over a horizontal line.

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## PLANNING PERMIT

PERMIT NUMBER: 191/2020/P

Conditions Continued –

made free of soil, seed and plant material before being taken to the works site and again before being removed from the works site to the satisfaction of the Responsible Authority.

### Infrastructure

16. Provision of a Stormwater Detention System with a volume capable of retarding the 10 year ARI flow from the development site back to a 5 year ARI pre-development value to the satisfaction of the Responsible Authority.
17. Prior to commencement of development construction detailed design plans and drainage computations of the internal stormwater drainage system including the method of connection to the existing Council drainage infrastructure are to be submitted and approved to the satisfaction of the Responsible Authority.
18. Water Sensitive Urban Design principles (WSUD) are to be incorporated into the drainage design, which may include but not be limited to the following components or a combination thereof:
  - On-site stormwater detention
  - Permeable Paving
  - Rainwater tanks for harvesting and re-use of stormwater for toilet flushing, landscape irrigation, etc.
  - Soil percolation
  - Rain gardens providing extended detention and on-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.
19. Vehicle crossing shall be reconstructed to Frankston City Council's standards and specifications to the satisfaction of the Responsible Authority.
20. All disused vehicle crossings shall be removed and the area reinstated to kerb and channel and landscaped to the satisfaction of the Responsible Authority.
21. Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.

Precautions must include, appropriate signage to AS 1743 Road Works Signing Code of Practice, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, sufficient to ensure public safety.

All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.

### Permit Expiry

22. This permit will expire if one of the following circumstances applies:
  - The development is not commenced within two (2) years of the date of this permit.
  - The development has not completed within four (4) years of the date of this permit.

Date Issued: 30 September 2020

Signature for the  
Responsible Authority \_\_\_\_\_

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TP156 27/05/2009





## PLANNING PERMIT

PERMIT NUMBER: 191/2020/P

*Conditions Continued –*

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

### Permit Notes

**A. Variation to Planning Permit**

Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.

**B. Extension of Time**

Section 69 of the Planning and Environment Act, 1987 provides that before the permit expires or within 6 months afterwards, the owner or occupier of the land to which the permit applies may ask the responsible authority for an extension of time. Please note, if a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

Any request for time extension of this Permit shall be lodged with the relevant administration fee at the time the request is made.

**C. Asset Protection Permit**

Prior to the commencement of works, the operator of this Planning Permit must obtain a non-refundable Asset Protection Permit from Frankston City Council's Infrastructure Department.

**D. ResCode**

This Planning Permit represents the planning approval for the development of the land within a Design and Development Overlay Schedule 1 and a Significant Landscape Overlay Schedule 3. Assessment of the application has been undertaken only in respect to the objectives under Clauses 42.03 and 43.02 of the Frankston Planning Scheme. The application has not been assessed in respect to the development standards and objectives of Clause 54 of the Frankston Planning Scheme

Date Issued: 30 September 2020

Signature for the  
Responsible Authority \_\_\_\_\_

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Page 5 of 6

TP156 27/05/2009

### **IMPORTANT INFORMATION ABOUT THIS PERMIT**

#### **WHAT HAS BEEN DECIDED?**

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### **CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?**

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

#### **WHEN DOES A PERMIT BEGIN?**

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### **WHEN DOES A PERMIT EXPIRE?**

1. A permit for the development of land expires if -
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if -
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if -
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### **WHAT ABOUT APPEALS?**

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
  - An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
  - An application for review is lodged with the Victorian Civil & Administrative Tribunal.
  - An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
  - An application for review must state the grounds upon which it is based.
  - An application for review must also be served on the Responsible Authority.
  - Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.
- Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

{LAST PAGE OF PERMIT}

b) 4B Kristen Close, Frankston South



## AMENDED PLANNING PERMIT

FORM: 10 Section 72

PERMIT NUMBER:	339/2014/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	4B Kristen Close, Frankston South 3199
THE PERMIT ALLOWS:	Removal of vegetation to facilitate the construction of one (1) dwelling.

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

#### Amended Plans

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be substantially in accordance with the plans submitted with the application but modified to show:
  - (a) All trees growing on the site and on the adjoining properties within 3 metres of the boundaries must be clearly illustrated on all relevant plans to demonstrate the canopy width, trunk location and clearly labelled in accordance with the Arborist Report prepared by Arbor Survey dated 10 July 2014 and whether the tree is to be retained or removed.
  - (b) All plans to show the removal of trees 6, 7, 9, 10, 13 to 31, 33-37, 39 and 43 as numbered in the arborist report to the satisfaction of the Responsible Authority.
  - (c) The tree protection zones for all trees to be retained and the tree protection fence locations must be illustrated on all relevant plans.
  - (d) Tree protection conditions noted in accordance with Conditions 5, 6, 7 & 8.
  - (e) A Landscape Plan in accordance with Condition 3.
  - (f) The driveway must be relocated to run along the fence line adjacent to tree no. 38 to be retained. The driveway must be constructed in accordance with Condition 11.

#### No Alterations

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

#### Landscape Plans

3. Before the commencement of buildings and works, a landscape plan prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. When approved,

Date Issued: 18 November 2014

Signature for the  
Responsible Authority \_\_\_\_\_

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TP157 27/08/2009



## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 339/2014/P/A

*Conditions Continued -*

the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must show:

- (a) details of surface finishes of pathways and driveways, retaining walls and areas of cut and fill.
  - (b) a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - (c) A planting theme of a minimum 80 % indigenous (Grassy Woodland EVC) and 20% native species within each plant group;
  - (d) A minimum of seven (7) canopy trees throughout the site.
  - (e) The required dimensions for replanting canopy trees are that the stock must be of juvenile age, with a container size to canopy height (root-to-shoot ratio) to be a minimum of 1.8 to 2.2 m in height, at the time of replanting.
  - (f) Trees are not to be sited over easements.
  - (g) All species selected must be to the satisfaction of the Responsible Authority.
4. The landscaping as shown on the endorsed Landscape Plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or the commencement of the use or at such later date as is approved by the Responsible Authority in writing.

**Tree Protection**

5. Tree protection must be carried out in accordance with the Australian Standards AS 4970-2009 *Protection of trees on development sites* to the satisfaction of the Responsible Authority.
6. Prior to the commencement of the development (including vegetation removal) a Tree Protection Fence defined by a 1.8 metre high temporary fence constructed using steel or timber posts fixed in the ground or to a concrete pad, with the fence's side panels to be constructed of cyclone mesh wire or similar strong metal mesh or netting with a high visibility plastic hazard tape, must be installed around the TPZ of trees 40 (2 metres) and around the building footprint with the fence being located 6 metres from tree no. 38 travelling 5 metres south of the building footprint to 2 metres from tree No. 12 and 2.8 metres from tree no. 11 to meet the north east fence line to the satisfaction of the Responsible Authority. A fixed sign is to be provided on all visible sides of the Tree Preservation Fencing, stating "Tree Preservation Zone – No entry without permission from the City of Frankston". The above requirements must be observed within this area.
- no vehicular or pedestrian access
  - the existing soil level must not be altered either by fill excavation;
  - the soil must not be compacted or the soil's drainage changed;
  - no fuels, oils, chemicals, poisons, rubbish and other materials harmful to trees are to be stored or dispersed;
  - no storage of equipment, machinery or material is to occur;
  - open trenching to lay underground services e.g.: drainage, water, gas, etc. must not be used unless approved by the Responsible authority to tunnel beneath;
  - Nothing whatsoever, including temporary services wires, nails, screws or any other fixing device, is to be attached to any tree.

Date Issued: **18 November 2014**

Signature for the  
Responsible Authority \_\_\_\_\_

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TP157-27/08/2009



## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 339/2014/P/A

*Conditions Continued -*

- no building or any other structure is to be erected;
- tree roots must not be severed or injured;
- machinery must not be used to remove any existing concrete, bricks or other materials.

### Ground Protection

7. The following tree protection conditions apply within the identified Tree Protection Zones (8.4m) for Tree no. 38. All tree protection conditions must be undertaken to the satisfaction of the Responsible Authority.

- Advise all site works of the location of the Tree Protection Zone;
- The tree protection fencing as described in the condition above must be located at a suitable position to ensure no physical damage to the trees trunk;
- No excavation works are permitted for the construction of the driveway;
- To avoid compaction and damage to the tree a layer geotextile fabric must be laid below 350mm thick organic mulch. Rumble plank/crossing planks are to be laid above the mulch and must be maintained until the construction of the new driveway is completed.
- No fuels, oils, chemicals, poisons, rubbish or other materials harmful to trees are to be disposed of or stored.
- No storage of equipment, machinery or material is to occur;
- Open trenching to lay underground services e.g: drainage, water, gas etc. must not be used unless approved by the Responsible Authority to tunnel beneath;
- If machinery is used to remove existing structures, concrete, bricks or other material it must be located outside of the defined Tree Protection Zones with ONLY the main arm of the machine reaching this Zone.

8. Tree protection fences and ground protection must be installed prior to the commencement of the development and remain in place for the duration of works to the satisfaction of the Responsible Authority.

### Tree Pruning

9. All tree pruning is to be carried out by a qualified and experienced Arborist who has a thorough knowledge of tree physiology and pruning methods. Pruning must be carried out in accordance with Australian Standards AS4373-2007 *Pruning of Amenity Trees*. If pruning works are to be undertaken then these works should be carried out prior to any construction works beginning on site.

10. Before the vegetation removal starts, all trees to be removed must be clearly marked on the ground or marked with tape or temporary fencing to the satisfaction of the Responsible Authority.

### Driveway Construction

11. With the Tree Protection Zone of tree no. 38 (TPZ 8.4m) the driveway must be constructed above the existing soil grade. The driveway is to be constructed of air and water permeable material such as sand based paving, gravel, no fine concrete or similar is to be used laid above a geotextile fabric.

Date Issued: **18 November 2014**

Signature for the  
Responsible Authority \_\_\_\_\_

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TP157 27/08/2009



## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 339/2014/P/A

Conditions Continued -

### Excavation

12. Any earthworks must not result in a difference in levels of more than one metre. All disturbed surfaces on the land resulting from earthworks must be revegetated and stabilised to the satisfaction of the Responsible Authority so as to prevent any erosion or siltation either on or adjacent to the land.

### Vegetation Removal

13. All disturbed surfaces on the land resulting from the buildings and works authorised or required by this permit must be revegetated and stabilised to the satisfaction of the Responsible Authority so as to prevent any erosion or siltation either on or adjacent to the land.
14. All existing environmental weed species are to be removed from the site and garden escapees that are found in the 'Sustainable Gardening in Frankston' (2006) booklet are not to be planted.
15. The site must be left in a clean and tidy condition after completion of works to the satisfaction of the Responsible Authority.
16. Vegetation removal and disposal must not cause damage to vegetation stands to be retained and to drainage lines and/or watercourses.
17. Prior to the commencement of works, all hollows and nests must be inspected for the presence of fauna. If fauna is located during the inspection, they must be salvaged and relocated by a suitably qualified and experienced zoologist or Wildlife Handler in accordance with all relevant legislation and approvals, and if appropriate, in consultation with the Department of Sustainability and Environment.

### Satisfactorily Completed

18. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

### Permit Expiry

19. This permit will expire if one of the following circumstances applies:

- ♦ The development is not commenced within two (2) years from the date of this permit.
- ♦ The development is not completed within four (4) years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within three (3) months afterwards.

### FOOTNOTE:

- A. This Planning Permit represents the Planning approval for the development of the land within a Planning Scheme Overlays. The application has not been assessed in respect to the development standards and objectives of Clause 54 of the Frankston Planning Scheme.

Date Issued: **18 November 2014**

Signature for the  
Responsible Authority \_\_\_\_\_

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TP157 27/08/2009





## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 339/2014/P/A

*Conditions Continued -*

- B. Any request for an extension of time, or variation/amendment of this permit must be lodged with the relevant fee.
- C. Prior to the commencement of construction the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Frankston City Council's Infrastructure Department.
- D. No additional native vegetation may be removed except with the further consent of the Responsible Authority.

This permit has been amended as follows:

Date of Amendment	Brief Description
24 August 2015	This permit was amended pursuant to section 74 of the Planning and Environment Act 1987, by amending the endorsed plans.

Date Issued: 18 November 2014

Signature for the  
Responsible Authority \_\_\_\_\_

Page 5 of 6

TP157 27/08/2009

### IMPORTANT INFORMATION ABOUT THIS NOTICE

#### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.  
(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if -
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if -
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if -
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

(LAST PAGE OF AMENDED PERMIT)



c) 4C Kristen Close, Frankston South



## Amended Planning Permit

Form 4 Section 63, 64, 64A & 86

PERMIT NUMBER	374/2017/P/D
PLANNING SCHEME	Frankston Planning Scheme
RESPONSIBLE AUTHORITY	Frankston City Council
ADDRESS OF THE LAND	4C Kristen Close, Frankston South 3199
THE PERMIT ALLOWS	Section 72 - To construct one (1) double storey dwelling and to remove native vegetation. Generally in accordance with the endorsed plans and subject to the following conditions.

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT

#### Amended Plans

- Before the development and native vegetation removal starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show:
  - All trees growing on the site and on the adjoining properties within 3m of the boundaries must be clearly illustrated on all relevant plans to demonstrate canopy width, trunk location and clearly labelled in accordance with the Tree Assessment Report prepared by Luke Sturgess dated October 2017 and clearly state whether the tree is to be retained or removed to the satisfaction of the Responsible Authority.
  - The Tree Protection Zone and Structural Root Zone for all trees to be retained and the tree protection fence locations must be illustrated on all relevant plans to the satisfaction of the Responsible Authority in accordance with Conditions 4 and 5.
  - Tree Protection Conditions 4-7 and Replacement Planting Conditions 9-10 noted on all relevant plans in full.
  - A Replacement Planting Plan in accordance with Conditions 8.

#### No Alterations or Changes

- The development and native vegetation removal as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.

Date Issued: **29 October 2024**

Signature for the  
Responsible Authority

A.V.R. [Signature]

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#### Completion of Works

3. Once the development and native vegetation removal has started it must be continued and completed to the satisfaction of the Responsible Authority.

#### Tree Protection

4. Tree protection must be carried out in accordance with the Australian Standard AS 4970-2009 Protection of trees on development sites to the satisfaction of the Responsible Authority.

#### Ground Protection

5. Prior to the commencement of construction, the following tree protection conditions apply within the identified Tree Protection Zones for trees being retained, trees 5, 7-12, 14-16 and TG 1-3 as identified in
6. the arborist report prepared by Luke Sturgess dated October 2017. All tree protection conditions must be undertaken to the satisfaction of the Responsible Authority.
  - (a) No excavation works are permitted for the construction of the driveway.
  - (b) The existing driveway is to be removed by hand with works overseen by a suitably qualified and experienced Arborist.
  - (c) To avoid compaction and damage to the tree trees a layer of organic mulch 200 mm thick must be laid with rumble planks/ crossing planks laid above the mulch prior to any construction vehicles accessing the site. This ground protection is to be maintained until the construction of the new driveway is completed.
  - (d) No fuels, oils, chemicals, poisons, rubbish or other materials harmful to trees are to be disposed of or stored.
  - (e) No storage of equipment, machinery or material is to occur.
  - (f) Open trenching to lay underground services e.g.: drainage, water, gas, etc. must not be used unless approved by the responsible authority to tunnel beneath.
  - (g) A tree protection fence defined by a 1.8 metre high (minimum) temporary fence constructed using steel or timber posts fixed in the ground or to a concrete pad, with the fence's panels to be constructed of cyclone mesh wire or similar strong metal mesh or netting with a high visibility plastic hazard tape, must be installed at the closest point appropriate to the tree / at the property fence line if the existing property boundary fencing is to be removed. If no fencing can be safety erected than trunk and limb protection must be installed as per the Australian Standard AS 4970-2009 Protection of trees on development sites.
  - (h) If machinery is used to remove existing structures, concrete, bricks or other materials it must be located outside of the defined Tree Protection Zones with ONLY the main arm of the machine reaching into this Zone.

Date Issued: 29 October 2024

Signature for the  
Responsible Authority

A.N.R. [Signature]

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#### Tree Pruning

7. All tree pruning is to be carried out by a qualified and experienced Arborist who has thorough knowledge of tree physiology and pruning methods. Pruning must be carried out in accordance with Australian Standard AS4373-2007 Pruning of Amenity Trees. Any pruning works required are to be undertaken prior to any construction works beginning on site. Any pruning of trees located on a neighbouring property should be undertaken in consultation with the property owner.
8. Any pruning or removal of tree limbs, particularly hollow-baring tree limbs, must be to the minimum extent necessary.

#### Replacement Planting Plan

9. Prior to the removal of the tree(s) allowed by this permit, a plan showing the proposed location of the replacement planting must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must show:
  - (a) A planting schedule of all proposed trees, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - (b) A minimum of four (4) native canopy trees with a minimum mature height of 7m. (Proposed canopy trees must be of juvenile age, with a container size to canopy height (root-to-shoot ratio) to be a minimum of 1.8 to 2.2 m in height, at the time of replanting)
  - (c) Trees are to be provided within a mulched garden bed and must not to be sited over easements.
  - (d) All species selected must be to the satisfaction of the Responsible Authority.

#### Maintenance of Replacement Planting

10. Within two (2) months of the removal of the tree(s) allowed by this permit (or if the timing is unsuitable for effective planting and establishment as agreed by the Responsible Authority not later than the end of the following May replacement planting and landscaping works as shown on the endorsed plan(s) must be provided to the satisfaction of the Responsible Authority and thereafter maintained to the satisfaction of the Responsible Authority. Failure of landscaping and replacement trees to reach a mature age shall be a breach of this condition.
11. The replanting and landscaping as shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or commencement of the use or at such later date as is approved by the Responsible Authority in writing. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged trees are to be replaced.

Date Issued: **29 October 2024**

Signature for the  
Responsible Authority

A handwritten signature in black ink, appearing to read 'A. N. R.' followed by a surname that is partially obscured.

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#### External Finishes

12. The external finishes to the dwelling must be of non-reflective, muted natural colours and tones that are consistent with the surrounding landscape to the satisfaction of the Responsible Authority.

#### Drainage

13. Prior to commencement of development construction detailed design plans and drainage computations of the internal stormwater drainage system including the method of connection to the existing Council drainage infrastructure are to be submitted and approved to the satisfaction of the Responsible Authority.

Water Sensitive Urban Design principles (WSUD) are to be incorporated into the drainage design, which may include but not be limited to the following components or a combination thereof:

- On-site stormwater detention and rainwater tanks.
- Soil percolation
- Stormwater harvesting and Re-use of stormwater for garden watering, toilet flushing, etc.
- On-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.

Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.

Precautions must include, appropriate signage to AS 1743 Road Works Signing Code of Practice, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, sufficient to ensure public safety.

All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.

#### Permit Expiry

14. This permit will expire if one of the following circumstances applies:
  - The development and native vegetation removal is not commenced within two (2) years of the date of this permit.
  - The development and native vegetation removal has not been completed within four (4) years of the date of this permit.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Date Issued: <b>29 October 2024</b>	Signature for the Responsible Authority 
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#### Permit Notes

**A. Asset Protection Permit**

Prior to the commencement of construction, the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Frankston City Council's Infrastructure Department.

**B. Extension of Time**

Section 69 of the Planning and Environment Act, 1987 provides that before the permit expires or within 6 months afterwards, the owner or occupier of the land to which the permit applies may ask the responsible authority for an extension of time. Please note, if a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

Any request for time extension of this Permit shall be lodged with the relevant administration fee at the time the request is made.

**C. ResCode**

This Planning Permit represents the Planning approval for the development of the land within a Significant Landscape Overlay - Schedule 3 (SLO3) and a Design and Development Overlay Schedule 1 (DDO1). Assessment of the application has been undertaken only in respect to the issues under Clause 42.03 of Frankston Planning Scheme. The application has not been assessed in respect to the development standards and objectives of Clause 54 of the Frankston Planning Scheme.

**D. Variation to Planning Permit**

Any request for a variation of this Permit shall be lodged with the relevant fee as determined under the Planning & Environment (Fees) Regulations 2016.

This permit has been amended as follows:

Date of Amendment	Brief Description
29/10/2024	This permit was amended pursuant to section 74 of the <i>Planning and Environment Act 1987</i> , by considering amended plans.

Date Issued: <u>29 October 2024</u>	Signature for the Responsible Authority 
Page 5 of 6	

d) 4D Kristen Close, Frankston South



## AMENDED PLANNING PERMIT

FORM: 10 Section 72

PERMIT NUMBER:	201/2010/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	4D Kristen Close, Frankston South 3199
THE PERMIT ALLOWS:	To construct one (1) dwelling

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

1. \*\*\*\*\* DELETED \*\*\*\*\*
2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
3. Within three (3) months of the commencement of construction, a landscape plan prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must show:
  - (a) details of surface finishes of pathways and driveways, retaining walls and areas of cut and fill.
  - (b) a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - (c) A planting theme of a minimum 80 % indigenous (Heathy Woodland EVC) and 20% native species within each plant group;
  - (d) A minimum of five (5) canopy trees throughout the site.
  - (e) The required dimensions for replanting canopy trees are that the stock must be of juvenile age, with a container size to canopy height (root-to-shoot ratio) to be a minimum of 1.8 to 2.2 m in height, at the time of replanting.
  - (f) Trees are not to be sited over easements.
  - (g) All species selected must be to the satisfaction of the Responsible Authority.
4. The landscaping as shown on the endorsed Landscape Plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or the commencement of the use or at such later date as is approved by the Responsible Authority in writing.
5. The removed trees must be mulched and used on site.
6. All disturbed surfaces on the land resulting from the buildings and works authorised or required by this permit must be stabilised to the satisfaction of the Responsible Authority so as to prevent any erosion or siltation either on or adjacent to the land.

Date Issued: 30 July 2010

Signature for the  
Responsible Authority \_\_\_\_\_

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## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 201/2010/P/C

*Conditions Continued -*

7. All earthworks must be undertaken in a manner that will minimise soil erosion and adhere to Construction techniques for Sediment Pollution Control (EPA 1991) and any exposed areas of soil must be stabilised to prevent soil erosion, to the satisfaction of the responsible authority.
8. All disturbed surfaces on the land resulting from the buildings and works authorised or required by this permit must be revegetated and stabilised to the satisfaction of the Responsible Authority so as to prevent any erosion or siltation either on or adjacent to the land.
9. Stormwater drainage shall be connected to stormwater Legal Point of Discharge as nominated and to the satisfaction of the Responsible Authority.
10. Vehicle crossing shall be constructed to Frankston City Council's standards and specifications to the satisfaction of the Responsible Authority.

### CFA Conditions

#### Water Supply Requirements

11. A static water supply, such as a tank must be provided unless there is a hydrant connected to a reticulated water supply within 120 metres of rear of the dwelling.
  - 11.1. A static water supply must meet the following requirements:
    - a minimum of 10,000 litres on-site static storage must be provided on the lot and be maintained solely for fire fighting;
    - the water supply must be located within 60 metres of the dwelling;
    - fire brigade vehicles must be able to get to within four metres of the water supply outlet;
    - the water supply must be readily identifiable from the building or appropriate signage (see Appendix A: Figure 1) must point to water supply. All belowground water pipelines must be installed to the following depths:
      - subject to vehicle traffic - 300 mm
      - under houses or concrete slabs - 75 mm
      - all other locations - 225 mm
    - all fixed above-ground water pipelines and fittings, including water supply, must be constructed of non-corrosive and non-combustible materials or protected from the effects of radiant heat and flame.
  - 11.2. If the static water supply is above ground the following additional standards must apply:
    - 11.2.1. all above-ground static water supply must provide at least one 64 mm 3 thread / 25 mm x 50 mm nominal bore British Standard Pipe (BSP), round male coupling (see Appendix A: Figure 2)
    - 11.2.2. all pipe work and valving between the water supply and the outlet must be no less than 50 mm nominal bore;
    - 11.2.3. if less than 20 metres from the building, each outlet must face away from the building to allow access during emergencies.

#### Vegetation Management Requirements

12. A distance of 30 metres around the proposed dwelling or to the property boundary (whichever is the lesser) must be maintained to the following requirements during the declared 'Fire Danger Period' to the satisfaction of the responsible authority.

Date Issued: 30 July 2010

Signature for the  
Responsible Authority \_\_\_\_\_

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## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 201/2010/P/C

*Conditions Continued -*

- Grass must be no more than 100mm in height
- Leaf litter must be less than 10mm deep
- There must be no elevated fuel on at least 50% of the area. On the remaining 50% the elevated fuel must be at most, sparse, with very little dead material.
- Dry shrubs must be isolated in small clumps more than ten metres away from the dwelling.
- Trees must not overhang the roofline of the dwelling.

**Buildings and Works Requirements**

13. Building construction to a minimum Bushfire Attack Level (BAL) of BAL-12.5 in accordance with AS3959-2009.

**Expiry**

14. This permit will expire if one of the following circumstances applies:
- The development is not commenced within two (2) years from the date of this permit.
  - The development is not completed within four (4) years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within three (3) months afterwards.

**Roof cladding materials**

15. All roofing materials must be suitably non-reflective to the satisfaction of the Responsible Authority.

**FOOTNOTE:**

- A. The management of surface water flows and/or ponding should be considered in the design of buildings and surrounds.
- B. This Planning Permit represents the Planning approval for the development of the land within Planning Scheme Overlays. The application has not been assessed in respect to the development standards and objectives of Clause 54 of the Frankston Planning Scheme.
- C. Prior to the sale, transfer, assignment or other disposal of or leasing or parting with possession of any part of the land subject to this permit, a copy of the permit must be given to the purchaser, transferee, assignee, lessee, occupier or other person of that part of the land.
- D. Any request for an extension of time, or variation/amendment of this permit must be lodged with the relevant fee.
- E. Prior to the commencement of construction the operator of this planning permit must obtain a non-refundable Asset Protection Permit from Frankston City Council's Infrastructure Department.
- F. No additional native vegetation may be removed except with the further consent of the Responsible Authority.

Date Issued: 30 July 2010

Signature for the  
Responsible Authority \_\_\_\_\_

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## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 201/2010/P/C

Conditions Continued -

- G. CFA Note: Non-flammable features such as tennis courts, swimming pools, dams, patios, driveways, or paths should be incorporated into the vegetation management plan, especially on the north and western sides of the proposed building. Features with high flammability such as coir doormats, firewood stacks should not be located near the dwelling during the fire danger period
- H. CFA Note: Under r. 804 of the Victorian Building Regulations 2006 if a site assessment for the purpose of determining the Bushfire Attack Level for the site has been considered as part of the planning application, the relevant building surveyor must accept this site assessment. The planning site assessment is currently undertaken using the Wildfire Management Overlay Applicant's Kit 2007. This BAL level is the minimum construction standard CFA believes necessary to achieve an adequate level of wildfire safety for the prescribed vegetation management conditions. For this particular site a minimum Bushfire Attack Level (BAL) of BAL-12:5 is required.
- I. Water Sensitive Urban Design principles (WSUD) are to be incorporated into the drainage design, which may include but not be limited to the following components or a combination thereof:
- On-site stormwater detention and rainwater tanks.
  - Soil percolation
  - Stormwater harvesting and Re-use of stormwater for garden watering, toilet flushing, etc
  - On-site 'bio-treatment' to reduce dissolved contaminants and suspended solids.

This permit has been amended as follows:

Date of Amendment	Brief Description
12 August 2010	This permit was corrected pursuant to section 71 of the Planning and Environment Act 1987, by:- <ul style="list-style-type: none"><li>• Deleting Condition1</li><li>• Rewording Condition 3</li><li>• Renumbering conditions 11 onwards</li></ul>
15 October 2012	The endorsed plans were amended under secondary consent.
23 June 2014	Extension of time – two (2) years.
23 January 2015	This permit was amended pursuant to section 74 of the Planning and Environment Act 1987, by amending the endorsed plans, and by adding permit condition 15.

Date Issued: 30 July 2010

Signature for the  
Responsible Authority \_\_\_\_\_

Page 4 of 5

TP157 27/08/2009

### IMPORTANT INFORMATION ABOUT THIS NOTICE

#### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if -
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if -
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if -
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

(LAST PAGE OF AMENDED PERMIT)

## Appendix 16: Planning permit for 5, 6 and 7 Clyde Court, Frankston South



# AMENDED PLANNING PERMIT

FORM: 10 Section 72

PERMIT NUMBER:	612/2013/P
RESPONSIBLE AUTHORITY:	Frankston City Council
PLANNING SCHEME:	Frankston Planning Scheme
ADDRESS OF THE LAND:	642A Nepean Highway, Frankston South 3199
THE PERMIT ALLOWS:	Three (3) lot subdivision and removal of native vegetation

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

#### Amended Plan

1. Before the Plan of Subdivision is certified under the Subdivision Act 1988, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale and provided with dimensions, and three copies must be provided. The plans must be substantially in accordance with the plans submitted with the application prepared by Nilsson, Noel and Holmes (Surveyors), ref: 1652TP, dated 24/1/2014 1-4 and PS719546V, but modified to show:
  - a. Building envelope for Lot 1 (5 Clyde Court) reduced to a maximum area of 480m<sup>2</sup> with minimum setback of 5.85 metres from Clyde Court frontage and a minimum of four (4) metres from all other property boundaries
  - b. Building envelope for Lot 2 (6 Clyde Court) reduced to a maximum area of 500m<sup>2</sup> with minimum setback of 8.50 metres from Clyde Court frontage and a minimum of four (4) metres from all other property boundaries;
  - c. Building envelope for Lot 3 (7 Clyde Court) reduced to a maximum area of 450m<sup>2</sup> with minimum setback of 4.28 metres from Clyde Court frontage and a minimum of four (4) metres from all other property boundaries;
  - d. Building envelopes to be positioned on each lot in accordance with the recommendations of the Landslide Risk Assessment Report prepared by ATC Williams, December 2012;
  - e. The extent of abuttal to Clyde Court on the western property boundary;
  - f. Access way to each building envelope in accordance with CFA Condition 40;
  - g. All trees growing on the site and on the adjoining road reserve must be clearly illustrated on a Tree Retention Plan to demonstrate location and clearly numbered in accordance with the Ecological Assessment Report prepared by Felix Botanica July 2013 and state to be removed or retained. Trees in a Medium to High retention value located outside the building envelope must be retained;
  - h. Building envelopes must not encroach within more than 10% of the TPZ of trees considered to have a medium to high retention value (excluding those trees located within the building envelope) as in accordance with the Ecological Assessment Report prepared by Felix Botanica, July 2013;

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## AMENDED PLANNING PERMIT

PLANNING PERMIT NUMBER: 612/2013/P

*Conditions Continued -*

- i. A printout of the NVIM tool "Biodiversity Impact Assessment" for all scattered trees on the site (including trees to be removed and assumed lost) to include the Offset requirements to remove native vegetation;
- j. Stormwater Drainage Strategy in accordance with Condition 18;
- k. Drainage easements in favour of Frankston City Council in accordance with Condition 21;
- l. A bushfire management plan in accordance with Condition 32;
- m. Land Management Plan in accordance with Condition 12;
- n. Amended Offset Management Plan in accordance with Condition 7.

**No alteration and Changes**

2. The subdivision as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
3. Deleted (29 April 2015)

**Geotechnical Report**

4. All works associated with the subdivision must be undertaken in accordance with the recommendations contained within the Landslide Risk Assessment Report prepared by ATC Williams, December 2012.
5. Prior to the issue of a Statement of Compliance the existing dwelling and outbuildings must be removed from the land to the satisfaction of the Responsible Authority.

**Tree Protection Fencing**

6. Before any works start, vegetation tree protection fencing must be erected around all patches of native vegetation and trees to be retained on site. This fencing must be erected around the patches at a minimum distance of 2 metres from retained native vegetation and at a radius of 12 x the diameter at breast height (DBH) to a maximum of 15 metres but no less than 2 metres from the base of the trunk of the trees.

The protection fencing must be constructed to the satisfaction of the responsible authority. The protection fencing must remain in place at least until all works are completed to the satisfaction of the responsible authority. Except with the written consent of the responsible authority, within this area;

- a) no vehicular or pedestrian access, trenching or soil excavation is to occur,
  - b) no storage or dumping of tools, equipment, materials or waste is to occur,
  - c) no entry and exit pits or open trenches for underground services are to be constructed.
7. Amended Offset Management Plan in accordance with the *Permitted clearing of native vegetation-Biodiversity assessment guidelines* and the *Native vegetation gain scoring manual*. The offsets identified in the strategy must be achieved, as required by Condition 1, to the satisfaction of the responsible authority:

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## AMENDED PLANNING PERMIT

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*Conditions Continued -*

- a) contribute a gain identified in accordance with the Biodiversity Impact Assessment report required by Condition 1 (f),
  - b) be located within the Port Phillip and Western Port Catchment Management, Authority boundary or Frankston City Council municipal district, and
  - c) have a strategic biodiversity score identified in accordance with the Biodiversity Impact Assessment report required by Condition 1 (f).
8. Prior to the removal of native vegetation or the certification of a Plan of Subdivision, whichever occurs first, written evidence that offsets have been secured must be provided to the satisfaction of the Responsible Authority. Offset security must be either:
- a) a security agreement, to the required standard, for the offset site or sites, including a 10 year offset management plan, or
  - b) a credit register extract from the Native Vegetation Credit Register.
9. Vegetation removal and disposal must not damage vegetation stands to be retained to the satisfaction of the Responsible Authority.
10. Only those trees identified to be removed in the approved plan are permitted to be removed or destroyed, to the satisfaction of the Responsible Authority.
11. Any tree pruning is to be undertaken by a qualified arborist to the Australian Standard – Pruning of Amenity Trees AS4373-1996 and to the satisfaction of the Responsible Authority.

### Landscaping Plan

12. Prior to the commencement of works, including vegetation removal or the certification of subdivision plans, a Land Management Plan prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must show:
- a) a survey (*including botanical names*) of all existing vegetation to be retained and/or removed
  - b) a planting schedule of all proposed trees, including botanical names, common names, pot sizes, size at maturity and quantities of each plant;
  - c) A planting theme of 100% indigenous plant species selected from the EVC161 Coastal Headland Scrub and EVC2 Coastal Banksia;
  - d) A minimum of six (6) canopy trees per lot in locations near to the boundaries of each lot to the satisfaction of the Responsible Authority. Trees are not to be sited over easements. Trees to be provided at the advance height of one (1) metre;
  - e) Removal of weed species and replacement with indigenous species including the description of methods and techniques to avoid erosion of sloped areas;
  - f) In accordance with requirements of CFA Condition 36.

All species selected must be to the satisfaction of the Responsible Authority.

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## AMENDED PLANNING PERMIT

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Conditions Continued -

### Completion of landscaping

13. The landscaping as shown on the endorsed Land Management Plan must be carried out prior to the issue of a Statement of Compliance and completed to the satisfaction of the Responsible Authority.

### Environmental Construction Management Plan

14. Prior to commencement of works (including vegetation removal) or the certification of subdivision plans, a Construction Environmental Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale, with dimensions, and three (3) copies must be provided. The plan must be consistent with all other documents endorsed under this permit, but modified to show:
- a. Contact numbers of responsible owner / contractor, including emergency / 24 hour mobile contact details.
  - b. Identification of possible environmental risks associated with the subdivision works.
  - c. Response measures and monitoring systems to minimise identified environmental risks, including but not limited to: runoff, erosion, dust, litter, noise and light.
  - d. Location and specifications of sediment control devices on / off site.
  - e. Location and specifications of surface water drainage controls.
  - f. Location and specifications of fencing for the protection of trees as required by this permit.
  - g. Proposed drainage lines and flow control measures.
  - h. Location of all stockpiles and storage of building materials.
  - i. Location of parking for site workers and any temporary buildings or facilities.
  - j. Details to demonstrate compliance with relevant EPA guidelines.
  - k. Hours during which construction activity will take place.

### Section 173 Agreement

15. Prior to the Plan of Subdivision being certified under the *Subdivision Act 1988*, and before the vegetation removal starts, the owner must enter into an agreement with the responsible authority under section 173 of the *Planning and Environment Act 1987* and make application to the Registrar of Titles to have the agreement registered on the title to the land under section 181 of that Act which provides for the protection of the native vegetation in accordance with the Tree Retention Plan endorsed as part of this permit. The Section 173 of the Planning and Environment Act 1987 must address the following matters:-
- a. Except for the driveway and associated drainage and other works, all buildings and works are to be constructed within the endorsed building envelope on each allotment unless the prior written consent of the Responsible Authority.
  - b. No vegetation shown to be retained can be removed or destroyed without the prior written consent of the Responsible Authority.

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## AMENDED PLANNING PERMIT

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*Conditions Continued -*

- c. Drainage of each lot must be in accordance with the endorsed Stormwater Drainage Strategy in accordance with Condition 18.
- d. Country Fire Authority requirements included in Condition 34.

### Vehicle Crossings

- 16. Vehicle crossing shall be constructed to Frankston City Council's standards and specifications to the satisfaction of the Responsible Authority.

### Occupation Health & Safety

- 17. Where the development involves work on or access to Council controlled land including roads, reserves and right of way, the owner, operator and their agents under this permit must at all times take adequate precautions to maintain works to the highest public safety standards, to the satisfaction of the Responsible Authority.

Precautions must include, appropriate signage to AS 1743 Road Works Signing Code of Practice, the provision of adequate barricading of works, including trenches of Service Authorities and any other road openings, sufficient to ensure public safety.

All relevant permits must be obtained from Council for works within the existing road reserves, in addition to the planning permit.

### Drainage Requirements

- 18. Prior to the commencement of works, including vegetation removal or the certification of the subdivision plans, a Stormwater Drainage Strategy, in accordance with the NNH Engineers (Drawing No. 10121cP02, Revision A dated 30/3/2015) is required to be prepared that demonstrates that effective disposal of storm water drainage can be provided to the subdivision site without detriment to the proposed site and other properties. This strategy must include the provision of drainage easements to be set aside to Frankston City Council over the proposed drainage outfall up to its discharge to Port Phillip Bay to ensure that all external catchment contributing to the proposed network is catered for and afforded appropriate rights to the satisfaction of the Responsible Authority
- 19. Each lot shown on the endorsed plans must be provided with a stormwater legal point of discharge to the satisfaction of the Responsible Authority.
- 20. Stormwater drainage of all existing buildings and structures retained must be connected to stormwater Legal Point of Discharge as nominated and to the satisfaction of the Responsible Authority.
- 21. Prior to the certification of the subdivision plan drainage easements in favour of Frankston City Council to ensure that all external catchment contributing to the proposed network is catered for and afforded appropriate rights in accordance with the endorsed Stormwater Drainage Strategy to the satisfaction of the Responsible Authority.

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Conditions Continued -

22. Stormwater runoff must achieve the following objectives for environmental quality, as set out in the Urban Stormwater Best Practice Environmental Guidelines (CSIRO) 1999;

- 80% retention of the typical annual load of suspended solids;
- 45% retention of typical annual load of total phosphorous; and
- 45% retention of typical annual load of total nitrogen.

Water Quality works within the subdivision must be provided to achieve compliance with the above best practice standards to the satisfaction of the Responsible Authority.

### Telecommunications

23. The owner of the land must enter into an agreement with:

- A telecommunications network or service provider for the provision of telecommunication services to each lot shown on the endorsed plan in accordance with the provider's requirements and relevant legislation at the time; and
- A suitably qualified person for the provision of fibre ready telecommunication facilities to each lot shown on the endorsed plan in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.

### Melbourne Water Conditions

24. Prior to certification, the Plan of Subdivision must be referred to Melbourne Water in accordance with Section 8 of the Subdivision Act 1988.
25. Prior to the issue of a Statement of Compliance, the Owner shall enter into and comply with an agreement with Melbourne Water Corporation for the acceptance of surface and storm water from the subject land directly or indirectly into Melbourne Water's drainage systems and waterways, the provision of drainage works and other matters in accordance with the statutory powers of Melbourne Water Corporation.
26. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Melbourne Water's drains or watercourses.

### South East Water Conditions

27. The owner of the subject land must enter into an agreement with South East Water for the provision of potable water supply and fulfil all requirements to its satisfaction.
28. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.
29. All lots on the Plan of Subdivision are to be provided with separate connections to our potable water supply and sewerage systems.

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## AMENDED PLANNING PERMIT

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Conditions Continued -

### United Energy Conditions

30. The applicant must enter into an agreement with United Energy for an underground supply of electricity to each lot shown on the endorsed plan.

### Country Fire Authority Conditions

31. Prior to certification, the Plan of Subdivision must be referred to Country Fire Authority in accordance with Section 8 of the Subdivision Act 1988.

### Amended Plans

32. Before the plan of subdivision is certified under the *Subdivision Act 1988* for any stage in the subdivision, a BUSHFIRE MANAGEMENT PLAN to the satisfaction of the Country Fire Authority (CFA) and the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided. The plan must:
- 32.1 Be titled BUSHFIRE MANAGEMENT PLAN and must be dated.
  - 32.2 Show the layout and dimensions of the subdivision.
  - 32.3 Show the layout, dimensions and boundary setbacks of the building envelope on all Lots.
  - 32.4 Show the Bushfire Attack Level (BAL) for all Lots which must comply with the conditions of this permit.
  - 32.5 Include a notation that all of the land must be managed as an 'Inner Zone' of defensible space.
  - 32.6 Show the location of the static water supply for all Lots which must be within 4 metres of the access driveway and which ensures that the water supply outlet is not impeded by buildings, fencing or other obstructions.
  - 32.7 Show the dimensions of the defensible space envelopes that comply with the defensible space requirements of this permit.
  - 32.8 Omit any detail which is not required to depict the above information. This includes but is not limited to omitting site feature survey information.
  - 32.9 Use labelling techniques that enable the plan to be reproduced and interpreted in black and white.
  - 32.10 Show the access way to all Lots which is to provide vehicular access that complies with the access requirements of this permit
33. The BUSHFIRE MANAGEMENT PLAN endorsed under this permit must not be altered unless with the written consent of the CFA and the Responsible Authority.

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## AMENDED PLANNING PERMIT

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Conditions Continued -

### Clause 44.06-3 Mandatory Condition

34. Before the statement of compliance is issued under the *Subdivision Act 1988* the owner must enter into an agreement with the responsible authority under Section 173 of the *Planning and Environment Act 1987* and make application to the Registrar of Titles to have the agreement registered on the title to the land under Section 181 of the Act. The agreement must set out the following matters:

34.1 That it has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-1 of the Frankston Planning Scheme.

34.2 Incorporate the plan prepared in accordance with Clause 52.47-2.4 of Frankston Planning Scheme and approved under this permit.

34.3 State that if a dwelling is constructed on the land without a planning permit that the bushfire mitigation measures set out in the plan incorporated into the agreement must be implemented and maintained to the satisfaction of responsible authority on a continuing basis. .

The land owner must pay the reasonable costs of the preparation, execution and registration of the Section 173 agreement.

### Specific matters that must be set out in Section 173 Agreement

35. To give effect to the requirements of clause 44.06-3 of the Frankston Planning Scheme, and the above condition, the section 173 Agreement prepared in accordance with clause 44.06-4 must:

35.1 Explicitly exclude the option to vary the requirements of the agreement through another planning permit.

35.2 Specify that any dwelling or dependent person's unit constructed on any Lot must be constructed inside the building envelope designated on the BUSHFIRE MANAGEMENT PLAN endorsed under this permit.

35.3 Specify that any dwelling or dependent person's unit constructed on any Lot must be constructed to the Bushfire Attack Level (BAL) specified in this permit and in accordance with the relevant sections of AS3959-2009.

35.4 Specify that the defendable space on the BUSHFIRE MANAGEMENT PLAN endorsed under this permit must at all times, and regardless of whether a dwelling is located on the land, be maintained to the standard specified in this permit for the management of defendable space.

35.5 Specify that before the occupation of any dwelling starts on any Lot, a static water supply must be provided on the lot which complies with the static water supply requirements of this permit.

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## AMENDED PLANNING PERMIT

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*Conditions Continued -*

- 35.6 Include the detailed specifications in this permit for the management of defensible space, the construction of buildings, the provision of static water and the provision of emergency vehicle access within the covenants of the agreement.
- 35.7 Specify that the bushfire protection measures which form part of the section 173 agreement and the planning permit and endorsed plans, including those relating to construction standards (BAL), defensible space, water supply and access must be maintained to the satisfaction of the Responsible Authority and the relevant fire authority on a continuing basis.
- 35.8 Include the BUSHFIRE MANAGEMENT PLAN endorsed under this permit as an annexure to the agreement.

**Defendable space – Inner Zone management**

- 36. The management of land designated as 'Inner Zone' on the BUSHFIRE MANAGEMENT PLAN endorsed under this permit must comply with the following minimum requirements:
  - 36.1 Within 10 metres of a building, flammable objects such as plants, mulches must not be located close to vulnerable parts of the building such as windows, decks and eaves.
  - 36.2 Trees must not overhang the roofline of the building, touch walls or other elements of a building.
  - 36.3 Fencing must not be located within 3 metres of vulnerable parts of the building such as windows, decks and eaves unless the fencing is constructed of non-combustible materials.
  - 36.4 Grass must be no more than 5 centimetres in height and all leaves and vegetation debris are to be removed at regular intervals.
  - 36.5 Shrubs must not be planted under trees and separated by at least 1.5 times their mature height.
  - 36.6 Plants greater than 10 centimetres in height at maturity must not be placed directly in front of a window or other glass feature.
  - 36.7 Tree canopy separation of 2 metres and the overall canopy cover of no more than 15 per cent at maturity.
  - 36.8 Tree branches below 2 metres from ground level must be removed.

**Building construction**

- 37. The construction of any dwelling or dependent person's unit on any Lot must be to a Bushfire Attack Level (BAL) of **BAL-12.5** in accordance with the relevant sections to AS3959-2009.

**Static water supply**

- 38. A static water supply must be provided on each lot in the subdivision which must comply with the following minimum requirements:

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## AMENDED PLANNING PERMIT

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*Conditions Continued -*

- 38.1 The water supply must have a minimum capacity of 10,000 litres that is maintained solely for fire-fighting purposes.
- 38.2 The water supply must be stored in an above ground water tank constructed of concrete, steel or corrugated iron.
- 38.3 The water supply must be located within 60 metres of the outer edge of the dwelling (including any obstructions).
- 38.4 The water supply outlet/s must be attached to the tank and must face away from the building to enable access during emergencies.
- 38.5 All pipework between the water supply and the outlet/s must be a minimum of 64 mm nominal bore.
- 38.6 All fixed above-ground water pipelines and fittings must be of non-corrodible and non-combustible materials.
- 38.7 The water supply and outlet must:
  - 38.7.1 Be located so that fire brigade vehicles are able to get within 4 metres of the water supply outlet.
  - 38.7.2 Incorporate a 64 mm (minimum) gate or ball valve and 64 mm (fixed size), 3 threads per inch, male fitting to suit a CFA coupling.
  - 38.7.3 Incorporate a vortex inhibitor or additional water must be provided to ensure that the volume of water available is not restricted by a vortex. Refer to Section 5 of AS.2419 for requirements for vortex inhibitors.
  - 38.7.4 Incorporate an additional ball or gate valve to provide access to the water by the resident of the dwelling.
- 38.8 The water supply outlet must not be obstructed by vegetation, buildings, fences or other structures.
- 38.9 All below-ground water pipelines must be installed to at least the following depths:
  - 38.9.1 Subject to vehicle traffic: 300 mm
  - 38.9.2 Under dwellings or concrete slabs: 75 mm
  - 38.9.3 All other locations: 225 mm
- 38.10 The water supply must be readily identifiable from the building or appropriate signage must be provided which:
  - 38.10.1 Has an arrow pointing to the location of the water supply.
  - 38.10.2 Has dimensions of not less than 310 mm high and 400 mm long.
  - 38.10.3 Is red in colour, with a blue reflective marker attached.
  - 38.10.4 Is labelled with a 'W' that is not less than 15 cm high and 3 cm thick.

**Initial implementation of defensible space**

- 39. Before the Statement of Compliance is issued under the *Subdivision Act 1988* defensible space must be initially implemented:
  - 39.1 To at least the extent shown as on the BUSHFIRE MANAGEMENT PLAN endorsed under this permit.

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## AMENDED PLANNING PERMIT

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Conditions Continued -

- 39.2 To not less than the prescriptions for the management of 'defendable space' specified in this permit.

### Emergency vehicle access

40. Before the Statement of Compliance is issued under the *Subdivision Act 1988* emergency vehicle access to all Lots must:
- 40.1 Be constructed in the location shown on the BUSHFIRE MANAGEMENT PLAN endorsed under this permit.
- 40.2 Comply with the following minimum requirements (including gates, bridges and culverts):
- 40.2.1 Curves in the driveway must have a minimum inner radius of 10 metres.
- 40.2.2 The average grade must be no more than 1 in 7 (14.4 percent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 percent) (11.3 degrees) for no more than 50 metres.
- 40.2.3 Dips must have no more than 1 in 8 (12.5 percent) (7.1 degrees) entry and exit angle.
- 40.2.4 Designed, constructed and maintained for a load limit of at least 15 tonnes and be of all-weather construction.
- 40.2.5 Have a minimum trafficable width of 3.5 metres and be substantially clear of encroachments for at least 0.5 metres on each side.
- 40.2.6 Be clear of encroachments 4 metres vertically.

### Expiry of Permit

41. This permit will expire if one of the following circumstances applies:-

- a) The subdivision is not certified within two (2) years of the date of this permit;
- b) The subdivision is not registered within five (5) years of the date of certification.

The Responsible Authority may extend the periods referred to in (a) if a request is made in writing before permit expiry or within six (6) months of the permit expiry date.

If a request is made out of time, the Responsible Authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

### Notes

- A. Prior to the sale, transfer, assignment or other disposal of or leasing or parting with possession of any part of the land subject to this permit, a copy of the permit must be given to the purchaser, transferee, assignee, lessee, occupier or other person of that part of the land.
- B. Any request for an extension of time, or variation/amendment of this permit must be lodged with the relevant fee.

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## AMENDED PLANNING PERMIT

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*Conditions Continued -*

- C. If further information is required in relation to Melbourne Water's permit conditions shown above, please contact Melbourne Water on telephone 9679 7517, quoting Melbourne Water's reference 229517.
- D. The following South East Water agreement options are available:
- Application to enter into a Development Deed – Works – If South East Water reticulated sewer/water/recycled water (as applicable) is required to be extended to service lots within the development.
  - Application to enter into an agreement – Non Works - If South East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner only requires Statement of Compliance to release the titles (i.e. subdivision prior to building).
  - Plumbing Industrial, Commercial, Units & Private Water application – If south East Water reticulated sewer/water/recycled water (as applicable) is available to the development and the owner wishes to commence construction of the building/s (i.e. building prior to subdivision).
- E. Property addresses are allocated by Council. This is usually formalised at the time of the issue of a certified plan, however it is Council's intention to number the proposed allotments as follows:

Lot 1 PS719546 – 5 Clyde Court, Frankston South 3199  
Lot 2 PS719546 – 6 Clyde Court, Frankston South 3199  
Lot 3 PS719546 – 7 Clyde Court, Frankston South 3199

It is the applicant's responsibility to ensure all owners are notified of the allocated street number.

Please be advised that Council cannot at any stage guarantee any proposed or current street numbering will remain unchanged

This permit has been amended as follows:

Date of Amendment	Brief Description
29 April 2015	This permit was amended by Final VCAT Order , by amending <ul style="list-style-type: none"><li>Condition 1.</li><li>Deleting condition 3.</li><li>Amending Condition 15 and Condition 18.</li></ul>

Date Issued: 29 April 2015

Signature for the  
Responsible Authority \_\_\_\_\_

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### IMPORTANT INFORMATION ABOUT THIS NOTICE

#### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.  
(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

#### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil & Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

#### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan or subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if:
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if:
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision:
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

#### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil & Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil & Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil & Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil & Administrative Tribunal.

Application for review forms and guides are available at [www.vcat.vic.gov.au](http://www.vcat.vic.gov.au), Ground Floor 55 King Street Melbourne or by contacting VCAT customer service on (03) 9628-9777.

(LAST PAGE OF AMENDED PERMIT)