



FRANKSTON CITY COUNCIL

COUNCIL MEETING SUPPORTING INFORMATION

**2026/CM5
20 APRIL 2026**

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Consideration of City Planning Reports

CORRECTIONS AMENDMENT - PLANNING SCHEME AMENDMENT C167FRAN - CONSIDERATION OF SUBMISSIONS RECEIVED AND REQUEST THE APPOINTMENT OF A PLANNING PANEL

Exhibited Documents with Track Changes

Meeting Date: 20 April 2026

Attachment: A

Frankston City

Planning and Environment Act 1987

Frankston Planning Scheme

Amendment C167fran

Explanatory Report

Overview

Amendment C167fran proposes to correct technical and mapping errors in the Frankston Planning Scheme. The amendment updates zoning and overlay maps so that the correct planning controls apply to each parcel of land based on its current use and conditions. It also makes minor updates to schedules to improve the accuracy of decision guidelines and permit requirements.

The amendment corrects spelling mistakes and clarifies language to ensure consistency and readability across the scheme. These changes improve the accuracy and usability of the Frankston Planning Scheme without altering policy intent.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Frankston City Council website at <https://www.frankston.vic.gov.au/Planning-and-Building/Strategic-and-Heritage-Planning/Planning-Scheme-amendments>

And

The amendment is available for public inspection, free of charge, during office hours at the following places:

- Frankston Civic Centre, 30 Davey Street, Frankston

The amendment can also be inspected free of charge at the Department of Transport and Planning website at <http://www.planning.vic.gov.au/public-inspection> or by contacting the office on 1800 789 386 to arrange a time to view the amendment documentation.

Submissions

Any person may make a submission to the planning authority about the amendment. Submissions about the amendment must be received by **5pm 2 March 2026**.

A submission must be sent to:

Frankston City Council

- **Email:** strategicplanning@frankston.vic.gov.au with “*Submission to Planning Scheme Amendment C167fran*” in the subject line.

Or

- **Post:**
Strategic Planning – Submission to Planning Scheme Amendment C167fran
Frankston City Council
PO Box 499
Frankston VIC 3199

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- Directions hearing: Week commencing 25 May 2026
- Panel hearing: Week commencing 22 June 2026

Details of the amendment

Who is the planning authority?

This amendment has been prepared by the Frankston City Council, who is the planning authority for this amendment.

Land affected by the amendment

The amendment proposes to apply to multiple properties across the municipality. The specific land affected (including current and proposed zones and overlays) is detailed in the reference table at **Attachment 1** of this Explanatory Report.

What the amendment does

The amendment seeks to correct mapping and text errors in the Frankston Planning Scheme to ensure zones, overlays, and schedules accurately reflect existing land use and conditions. It updates schedules to improve clarity and corrects minor spelling and formatting issues. These changes improve the accuracy and consistency of the planning scheme without changing its policy intent.

Specifically, the amendment:

Mapping Changes

1. Rezones land to rectify zoning anomalies and apply the most appropriate zones as detailed in Table 1 below.

Table 1: Zoning anomalies proposed to be amended

Properties	Existing Zone	Proposed Zone	Justification
Frankston Foreshore Reserve/570N Nepean Highway, Frankston South	Schedule 3 to Clause 37.01 Special Use Zone (SUZ3)	Public Conservation and Resource Zone (PCRZ)	To align with the adjacent foreshore zone. The SUZ3 has been deleted from the Frankston Planning Scheme.
13N Jeremy Way, Frankston South	Clause 36.01 Public Use Zone 1 (PUZ1)	PCRZ	To align with adjacent zones. The parcels comprise part of the Frankston Nature and Conservation Reserve, some of which have been proposed to be partially rezoned to PCRZ in Amendment C165fran.
90 Bardia Avenue, Seaford	Clause 33.01 (Industrial 1 Zone) (IN1Z)	Clause 36.02 Public Park and Recreation Zone (PPRZ)	Land is in two zones and must be in the PPRZ. To provide a single, consistent zone that reflects Council ownership of the Frankston Basketball and Gymnastic Stadium.
39 Wells Road, Seaford	PPRZ	IN1Z	Land is in two different zones and must be in the IN1Z to reflect the current use of the land. To provide a single, consistent zone.
620 McClelland Drive, Langwarrin	PUZ1	Schedule 3 to Clause 35.06 (Rural Conservation Zone) (RCZ3)	Formerly owned by Telstra, this site has been sold to a private landowner. To reflect the private ownership and align with Council's <i>Green Wedge Management Plan</i> strategies and adjacent zoning.

2. Rezones land listed in Attachment 2 from Business Zones 1, 2 and 5 to Commercial 1 Zone as the Business Zones have been superseded by the

- Commercial Zones are no longer in the Frankston Planning Scheme.
- Rezones land listed in Attachment 2 from Business Zone 4 to Commercial 2 Zone as the Business Zones have been superseded by the Commercial Zones are no longer in the Frankston Planning Scheme.
 - Amend the planning scheme maps to remove the overlays applying to land as detailed in Table 2 below:

Table 2: Proposed deletion of overlays from land

Properties	Change to Planning Scheme	Justification
All properties listed in Attachment 3 – Table 1	Delete DPO1 from the listed properties as it is no longer required.	DPO1 applies to areas that have now been developed.
All properties listed in Attachment 3 – Table 2	Delete SCO2 from the listed addresses as it is no longer required.	SCO2 applies to areas that have now been developed.
All properties listed in Attachment 4 – Table 3 495 Cranbourne – Frankston Road, Langwarrin	Delete DPO7 from the site.	DPO7 is now redundant. Land is now in public ownership (DEECA)

[Post Exhibition Changes]: During exhibition an internal error was identified, and advice confirmed that removing DPO7 from all affected land is premature. Only 495 Cranbourne–Frankston Road, Langwarrin (Crown land) is proposed to be removed from DPO7. The overlay is retained on all other properties to maintain existing subdivision controls.

Ordinances Changes

- Amends Clause 15.01-5L (Preferred Neighbourhood Character) to rectify omissions to Precincts, remove duplication and improve consistency in local policy detailed in Table 3 below.

Table 3: List of errors and omissions in Clause 15.01-5L (Preferred Neighbourhood Character)

Change to Planning Scheme	Justification
In the Frankston table, add Precinct 11 to the 'Preserve the rhythm of existing dwelling spacing' guideline.	The omission of Precinct 11 from the first column is an administrative error.
In the Frankston South table, delete 'Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.'	The existing guideline covers this requirement. Deletion will reduce duplication and ensure consistency.
In the Frankston South table, merge Precincts 2 & 6 with Precincts 3, 7, 10, 11, 12, 13 & 14 for this guideline	The requirement for Precincts 2 & 6 is identical to the requirement for Precincts 3, 7, 10, 11, 12, 13 & 14. Merging the requirement will reduce duplication and ensure consistency across all precincts.

- Corrects typographical and spelling errors as detailed in Table 4 below:

Table 4: List of typographical and spelling errors in ordinances

Clause	Change to Planning Scheme	Justification
Schedule 1 to Clause 32.08 General Residential Zone (GRZ1)	Replace GRZ2 with GRZ1 in 'shown on planning scheme map as...' as this zone does not exist.	GRZ2 is listed at Schedule 1 to Clause 32.08; but this zone does not exist.
Schedule 1 to Clause 37.08 Activity Centre Zone (ACZ1)	Correct spelling to 'Norfolk' in Table 13 – Solar Access.	Table 13 – Solar access incorrectly spells 'Norfolk' as 'Norfold'.
Schedule 5 to Clause 42.03 Significant Landscape Overlay (SLO5)	Correct spelling to 'Laurence'	Incorrect spelling of 'Brotherhood of St Lawrence'.
Schedule 6 to Clause 42.03 Significant Landscape Overlay (SLO6)	Correct spelling errors: 'metres' to 'metres' 'wheren' to 'where' 'definied' to 'defined'	Multiple spelling mistakes under 'Buildings and Works'.
Schedule 4 to Clause 43.02 Design and Development Overlay (DDO4)	Add the word 'for' at the end of the sentence 'A permit is not required to construct a building or carry out works for.'	Missing word in sentence: 'A permit is not required to construct a building or carry out works'.
Schedule 8 to Clause 43.02 Design and Development Overlay (DDO8)	Amend sentence and delete 'to the satisfaction of the Responsible Authority' 'Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance'.	Unnecessary phrase 'to the satisfaction of the Responsible Authority' in 2.0 Buildings and Works requirement.

~~7.~~ ~~Deletes Schedule 7 to Clause 43.04 (Development Plan Overlay) which is a redundant control as the land is in public ownership.~~

~~8-7.~~ Amends Schedule to Clause 45.12 (Specific Controls Overlay) to delete SCO2 Kristen Close, Frankston South (February 2011) which is a redundant incorporated document.

~~9-8.~~ Amends Schedule to Clause 51.01 (Specific Sites and Exclusions) to delete Land at Clyde Court, Frankston South which has been subdivided and the control is no longer required.

~~10-9.~~ Amends Schedule to Clause 72.04 (Incorporated Documents) to remove reference to *Kristen Close, Frankston South* (February 2011) from the Frankston Planning Scheme.

[Post Exhibition Changes]: Delete DPO7 only from 495 Cranbourne–Frankston Rd (Crown land). Retain DPO7 on Brabham Way & Hafey Way lots.

[Post Exhibition Changes]: DPO7 does not need to be deleted from the Frankston Planning Scheme because the proposed change only affects 495 Cranbourne-Frankston Road, Langwarrin, and does not affect the other lots covered by DPO7.

Strategic assessment of the amendment

Why is the amendment required?

- **Correction of Policy and Text Errors**

The proposed amendment is required to correct minor policy and wording errors in the Frankston Planning Scheme. These errors include omitted precinct references, duplicated guidelines, and redundant wording. Correcting these issues ensures the clause accurately reflects Council's adopted neighbourhood character policy and provides clear and consistent guidance for assessing development proposals.

- **Ensuring Consistency and Clarity**

The amendment improves the usability and internal consistency of the planning scheme by ensuring that local schedules to zones and overlays accurately correspond to existing land use and site conditions. Updating and clarifying language in schedules and decision guidelines reduces ambiguity in interpretation and assists both applicants and decision-makers.

The amendment also seeks to delete redundant planning provisions from land that has been developed in accordance with the controls, and the controls are no longer required. This ensures the Frankston Planning Scheme is current and the controls are current and up to date.

- **Good Planning and Administrative Efficiency**

The changes are administrative in nature and do not alter the strategic intent or introduce new policy controls. They ensure that the Frankston Planning Scheme operates efficiently, reflects adopted strategic policy, and delivers sound and transparent planning outcomes. By correcting errors and improving accuracy, the amendment supports good planning practice and provides a net community benefit through improved certainty and clarity in decision-making.

How does the amendment implement the objectives of planning in Victoria?

Does the amendment implement the objectives of planning in Victoria (sections 4(1) and 12(1)(a) of the Act)?

- a) *To provide for the fair, orderly, economic and sustainable use, and development of land.*

The amendment supports this objective by correcting mapping and text errors to ensure that appropriate zones and overlays apply to land in accordance with its current use, ownership, and site conditions. This promotes a transparent and equitable planning framework that supports orderly development outcomes.

- c) *To secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria.*

By maintaining accurate and up-to-date planning controls and improving the clarity of policy language, the amendment supports the effective and consistent administration of land use and development. This helps deliver sustainable, safe, and well-designed environments for the community.

e) to protect public utilities and other assets and enable the orderly provision and co-ordination of public utilities and other facilities for the benefit of the community.

The amendment reinforces this objective by correcting zoning anomalies affecting Crown land, applying appropriate public use and open space zones to protect and recognise the function of these sites. This ensures public land, and assets are appropriately identified and managed for community benefit.

How does the amendment address any environmental, social and economic effects?

The amendment is administrative in nature and primarily corrects mapping, zoning, overlay, and text errors within the Frankston Planning Scheme. It does not introduce new development opportunities or change the strategic intent of the scheme. The effects are therefore minimal and largely positive in terms of clarity, consistency, and efficiency

- **Environmental**

The amendment has no adverse environmental impacts. It does not change land use, affect biodiversity, impact waterways, or alter ecological systems. By accurately identifying land for public use or conservation, the amendment reinforces protection of existing public assets and open space.

- **Social**

The amendment supports a net community benefit by improving the clarity and usability of the planning scheme, making it easier for residents, developers, and decision-makers to understand and apply. Clearer guidelines and corrected precinct references reduce potential conflicts in planning decisions and support orderly development that aligns with local neighbourhood character.

- **Economic**

The amendment has no negative economic impacts. By correcting errors in zones, overlays, and schedules, it reduces administrative inefficiencies and uncertainty for applicants and Council. This facilitates consistent decision-making and reduces the risk of unnecessary delays, providing a minor but positive benefit to local economic activity.

Does the amendment address climate change?

The amendment is administrative in nature and does not change land use, urban

density, or transport outcomes. A dedicated Climate Change Consideration Report is not required, and the amendment is not required to address *Ministerial Direction 22-Climate Change Consideration* under section 12A of the Act.

Does the amendment address relevant bushfire risk?

The amendment meets bushfire policy in Clause 13.02 of the Planning Scheme because it does not change land use or development controls in a manner that increases risk to life, property, or community infrastructure.

Does the amendment comply with the requirements of any other Minister’s Direction applicable to the amendment?

The amendment complies with relevant Ministerial Directions, including:

- **Ministerial direction 11 – Strategic assessment of amendments:**

The amendment has been strategically assessed and aligns with the Planning Policy Framework, ensuring clear net community benefit.

- **Ministerial direction 15 - The planning scheme amendment process**

The proposed amendment has been prepared in accordance with the requirements of this direction, including exhibition and notice requirements.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports the PPF by ensuring that Clause 15.01-5L (Preferred Neighbourhood Character) and other planning provisions accurately reflect Council policy and provide clear guidance for development. This maintains alignment with the objectives of Clauses 11 (Settlement) and 16 (Housing) in providing orderly, well-planned development consistent with adopted State and local policies.

Is the amendment consistent with the delivery of the relevant housing target set out in the Planning Policy Framework?

The amendment does not alter land available for housing and does not affect housing targets. Its purpose is administrative correction and improved clarity, and it has no impact on the delivery of housing in the municipality.

How does the amendment support or implement the Municipal Planning Strategy?

The amendment implements the MPS by:

- Correcting precinct references and duplicated guidelines in Clause 15.01-5L

to ensure neighbourhood character policy is clear and enforceable.

- Aligning schedules and mapping with existing land use and ownership, which ensures consistency with the strategic directions in the MPS.

No other objectives or strategies of the MPS are affected.

Does the amendment make proper use of the Victoria Planning Provisions?

The amendment uses the appropriate VPP tools (zones, overlays, and schedules) to correct administrative errors. No new tools or controls are proposed to be introduced by the amendment.

How does the amendment address the views of any relevant agency?

Preliminary consultation with relevant agencies was undertaken (Department of Energy, Environment and Climate Action (DEECA) and Parks Victoria) where mapping of Crown land or public land was corrected. Any feedback received has been incorporated into the amendment.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment will not significantly affect the transport system. It does not create new land use or development opportunities that would change transport demand, patterns, or infrastructure requirements.

How does the amendment have regard to the principles set out in the *Yarra River Protection (Wilip-gin Birrarung murrong)* Act 2017 in relation to Yarra River land and other land, the use or development of which may affect Yarra River land?

The amendment does not affect Yarra River land or land that could impact the Yarra River.

Resource and administrative costs

What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?

The amendment is expected to have minimal resource implications for Council. It does not create additional planning permit applications or significantly increase staff workload.

The administrative benefit of clearer planning controls is expected to offset minor

implementation costs.

Attachment 1 – Mapping reference table

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
All B1Z, B2Z and B5Z	All B1Z, B2Z and B5Z	Frankston C167fran 001znMaps1_2_4_5_6_7_8_9 Exhibition	All properties in these zones	Rezone to C1Z	N/A	N/A
All B4Z areas	All B4Z areas	Frankston C167fran 002znMaps2_4 Exhibition	All properties in these zones	Rezone to C2Z	N/A	N/A
Carrum Downs	1 - 23 April Grove, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 23 April Grove, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 58 Bronzewing Drive, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 58 Bronzewing Drive, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 54 Hillview Drive, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 54 Hillview Drive, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 52 Pagett Road, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 52 Pagett Road, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 30 Pippa Way, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 30 Pippa Way, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 74 Shoreline Crescent, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 74 Shoreline Crescent, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 9 Spinebill Lane, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 9 Spinebill Lane, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 67 Surfers Crescent, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 67 Surfers Crescent, Carrum Downs	N/A	Delete DPO1	N/A

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
Carrum Downs	40 - 64 Trafford Road, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	40 - 64 Trafford Road, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 16 Wallagoot Walk, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 16 Wallagoot Walk, Carrum Downs	N/A	Delete DPO1	N/A
Carrum Downs	1 - 16 Wineglass Walk, Carrum Downs	Frankston C167fran 009d-dpoMap2 Exhibition	1 - 16 Wineglass Walk, Carrum Downs	N/A	Delete DPO1	N/A
Frankston South	34 Mountain Avenue, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	34 Mountain Avenue, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4 Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4 Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4C Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4C Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4D Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4D Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4E Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4E Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	4F Kristen Close, Frankston South	Frankston C167fran 006d-scoMap7 Exhibition	4F Kristen Close, Frankston South	N/A	Delete SCO2	N/A
Frankston South	13N Jeremy Way, Frankston South	Frankston C167fran 006znMap7 Exhibition	13N Jeremy Way, Frankston South	Rezone to PCRZ	N/A	N/A
Frankston	Frankston Foreshore Reserve/570 N Nepean Highway, Frankston	Frankston C167fran 003znMap4_7 Exhibition	Frankston Foreshore Reserve/570 N Nepean Highway, Frankston	Rezone o PCRZ	N/A	Delete any reference to Frankston Safe Boat Harbour on all Government

Location	Land /Area Affected	Mapping Reference	Address	Proposed Zone changes	Proposed Overlay changes	Proposed deletion changes
						mapping platforms.
Langwarrin	1—8 Brabham Way, Langwarrin	Frankston C167fran 010d-dpoMap6 Exhibition	1—8 Brabham Way, Langwarrin	N/A	Delete-DPO7	N/A
Langwarrin	495 Cranbourne-Frankston Road, Langwarrin	Frankston C167fran 010d-dpoMap6 Exhibition	495 Cranbourne-Frankston Road, Langwarrin	N/A	Delete DPO7	N/A
Langwarrin	14—43R Hafey Way, Langwarrin	Frankston C167fran 010d-dpoMap6 Exhibition	14—43R Hafey Way, Langwarrin	N/A	Delete-DPO7	N/A
Langwarrin	620 McClelland Drive, Langwarrin	Frankston C167fran 007znMap8 Exhibition	620 McClelland Drive, Langwarrin	Rezoned to RCZ3	N/A	N/A
Seaford	39 Wells Road, Seaford	Frankston C167fran 003znMap4 Exhibition	39 Wells Road, Seaford	Partially rezoned to IN1Z	N/A	N/A
Seaford	90 Bardia Avenue, Seaford	Frankston C167fran 003znMap4 Exhibition	90 Bardia Avenue, Seaford	Partially rezoned to PPRZ	N/A	N/A

[Post Exhibition Changes]: Not proceeding with the deletion. DPO7 is **retained** on these properties as the lots remain undeveloped and subdivision controls must continue to apply.

[Post Exhibition Changes]: Not proceeding with the deletion. DPO7 is **retained** on these properties as the lots remain undeveloped and subdivision controls must continue to apply.

Attachment 2 – Properties proposed to be rezoned from B1Z, B2Z, B4Z and B5Z to C1Z and C2Z

Table 1: Mapping Updates – Business Zones to Commercial Zones		
Current	New Zone	Address
B1Z	C1Z	110 - 116 Ashleigh Avenue, Frankston
B1Z	C1Z	136 - 158 Austin Road, Seaford
B1Z	C1Z	317 - 335S Ballarto Road, Carrum Downs
B1Z	C1Z	41 - 53H Beach Street, Frankston
B1Z	C1Z	129 - 247A Beach Street, Frankston
B1Z	C1Z	1 Broughton Street, Seaford
B1Z	C1Z	330 - 338 Cranbourne Road, Frankston
B1Z	C1Z	115 - 121 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	230 - 246 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	301 - 311 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	385 - 387 Cranbourne-Frankston Road, Langwarrin
B1Z	C1Z	2 - 4 Culcairn Drive, Frankston South
B1Z	C1Z	6 Culcairn Drive, Frankston South
B1Z	C1Z	121-125 Dandenong Road East, Frankston
B1Z	C1Z	1-9R Dandenong Road East, Frankston
B1Z	C1Z	43 - 57A Excelsior Drive, Frankston North
B1Z	C1Z	2 - 24 Fairway Street, Frankston
B1Z	C1Z	105C Fleetwood Crescent, Frankston South
B1Z	C1Z	13 Fleetwood Lane, Frankston South
B1Z	C1Z	30 - 57 Foot Street, Frankston
B1Z	C1Z	117 Franciscan Avenue, Frankston
B1Z	C1Z	1095 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	366 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	493 Frankston - Dandenong Road, Carrum Downs
B1Z	C1Z	136 Frankston - Flinders Road, Frankston South
B1Z	C1Z	145 - 147 Frankston - Flinders Road, Frankston South
B1Z	C1Z	192 Frankston - Flinders Road, Frankston South
B1Z	C1Z	1 - 7 Golf Links Road, Frankston
B1Z	C1Z	100 Hall Road, Carrum Downs
B1Z	C1Z	90 Hall Road, Carrum Downs
B1Z	C1Z	300 - 300E Heatherhill Road, Frankston
B1Z	C1Z	44 - 54 Heatherhill Road, Frankston

B1Z	C1Z	47 - 61 Kareela Road, Frankston
B1Z	C1Z	40 - 58 Mahogany Avenue, Frankston North
B1Z	C1Z	6 - 14B McCulloch Avenue, Seaford
B1Z	C1Z	14 - 15 Nepean Highway, Seaford
B1Z	C1Z	31 - 34 Nepean Highway, Seaford
B1Z	C1Z	110 - 132 Nepean Highway, Seaford
B1Z	C1Z	164 - 165 Nepean Highway, Seaford
B1Z	C1Z	166 - 175 Nepean Highway, Seaford
B1Z	C1Z	42 - 60 Norman Avenue, Frankston South
B1Z	C1Z	176 North Road, Langwarrin
B1Z	C1Z	2/2 Omaroo Lane, Frankston
B1Z	C1Z	2/3 Overport Road, Frankston
B1Z	C1Z	1 Petrie Street, Frankston
B1Z	C1Z	103 - 115 Railway Parade, Seaford
B1Z	C1Z	274 - 290 Seaford Road, Seaford
B1Z	C1Z	19 Shaxton Circle, Frankston
B1Z	C1Z	2 - 34 Skye Road, Frankston
B1Z	C1Z	2A - 20 Station Street, Seaford
B1Z	C1Z	1 - 6 The Mall, Frankston
B1Z	C1Z	143 Warrandyte Road, Langwarrin
B2Z	C1Z	1 Cadles Road, Carrum Downs
B2Z	C1Z	15 Cadles Road, Carrum Downs
B2Z	C1Z	19a Cadles Road, Carrum Downs
B2Z	C1Z	25 Cadles Road, Carrum Downs
B2Z	C1Z	9 Cadles Road, Carrum Downs
B2Z	C1Z	113 - 129 Hall Road, Carrum Downs
B2Z	C1Z	71 - 71B Hall Road, Carrum Downs
B2Z	C1Z	2 - 22 Protea Street, Carrum Downs
B2Z	C1Z	80 William Road, Carrum Downs
B4Z	C2Z	111 Cranbourne Road, Frankston
B4Z	C2Z	80 - 94 Cranbourne Road, Frankston
B4Z	C2Z	34 - 44 Dandenong Road West, Frankston
B4Z	C2Z	60 - 76 Dandenong Road West, Frankston
B4Z	C2Z	17 - 19 Fletcher Road, Frankston
B4Z	C2Z	574 - 590 Frankston - Dandenong Road, Carrum Downs
B4Z	C2Z	12 - 24 Lathams Road, Carrum Downs
B4Z	C2Z	6S - 8S Levida Drive, Carrum Downs

B4Z	C2Z	10 - 40S McMahons Road, Frankston
B4Z	C2Z	24S - 30S Yazaki Way, Carrum Downs
B5Z	C1Z	7 Broughton Street, Seaford
B5Z	C1Z	1 - 9 Chevalier Place, Frankston
B5Z	C1Z	328 Cranbourne Road, Frankston
B5Z	C1Z	5 - 5S Culcairn Drive, Frankston South
B5Z	C1Z	190 - 228 Karingal Drive, Frankston
B5Z	C1Z	30 Liardet Crescent, Frankston
B5Z	C1Z	133 - 134 Nepean Highway, Seaford
B5Z	C1Z	5 - 26 Union Road, Langwarrin

Attachment 3 – Properties proposed to be deleted from overlays

Table 1: Properties proposed for DPO1 deletion	
Number	Address
1	1 - 23 April Grove, Carrum Downs
2	1 - 58 Bronzewing Drive, Carrum Downs
3	1 - 54 Hillview Drive, Carrum Downs
4	1 - 52 Pagett Road, Carrum Downs
5	1 - 30 Pippa Way, Carrum Downs
6	1 - 74 Shoreline Crescent, Carrum Downs
7	1 - 9 Spinebill Lane, Carrum Downs
8	1 - 67 Surfers Crescent, Carrum Downs
9	40 - 64 Trafford Road, Carrum Downs
10	1 - 16 Wallagoot Walk, Carrum Downs
11	1 - 16 Wineglass Walk, Carrum Downs

Table 2: Properties proposed for SCO2 deletion	
Number	Current Address
1	34 Mountain Avenue, Frankston South
2	4 Kristen Close, Frankston South
3	4C Kristen Close, Frankston South
4	4D Kristen Close, Frankston South
5	4E Kristen Close, Frankston South
6	4F Kristen Close, Frankston South

Table 3: Properties proposed for DPO7 deletion	
Number	Current Address
1	1-8 Brabham Way, Langwarrin
2	495 Cranbourne - Frankston Road, Langwarrin
3	14-43R Hafey Way, Langwarrin

[Post Exhibition Changes]: 1-8 Brabham Way, Langwarrin: No change — DPO7 retained (post-exhibition).
 14-43R Hafey Way, Langwarrin: No change — DPO7 retained (post-exhibition).

Planning and Environment Act 1987

Frankston Planning Scheme

Amendment C167fran

Instruction sheet

The planning authority for this amendment is the Frankston City Council

The Frankston Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 11 attached map sheets.

Zoning Maps

1. Amend Planning Scheme Map No 1, 2, 4, 5, 6, 7, 8 and 9 in the manner shown on the 8 attached maps marked 'Frankston Planning Scheme, Amendment C167fran'.

Overlay Maps

2. Amend Planning Scheme Map No 2DPO and 6DPO in the manner shown on the 2 attached maps marked 'Frankston Planning Scheme, Amendment C167fran'.
3. Amend Planning Scheme Map No 7SCO in the manner shown on the 1 attached map marked 'Frankston Planning Scheme, Amendment C167fran'.

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

4. In **Planning Policy Framework** – replace Clause 15.01-5L with a new Clause 15.01-5L in the form of the attached document.
5. In **Zones** – Clause 32.08, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
6. In **Zones** – Clause 37.08, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
7. In **Overlays** – Clause 42.03, replace Schedule 5 with a new Schedule 5 in the form of the attached document.

8. In **Overlays** – Clause 42.03, replace Schedule 6 with a new Schedule 6 in the form of the attached document.
9. In **Overlays** – Clause 43.02, replace Schedule 4 with a new Schedule 4 in the form of the attached document.
10. In **Overlays** – Clause 43.02, replace Schedule 8 with a new Schedule 8 in the form of the attached document.
- ~~11. In **Overlays** – Clause 43.04, delete Schedule 7 in the form of the attached document.~~
- ~~12.11.~~ In **Overlays** – Clause 45.12, replace the Schedule with a new Schedule in the form of the attached document.
- ~~13.12.~~ In **Particular Provisions** – Clause 51.01, replace the Schedule with a new Schedule in the form of the attached document.
- ~~14.13.~~ In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

[Post Exhibition Changes]: Only 495 Cranbourne–Frankston Road, Langwarrin (Crown land) is proposed to be removed from DPO7. The overlay is retained on all other properties to maintain existing subdivision controls.

FRANKSTON PLANNING SCHEME

15.01
31/07/2018
VC148

BUILT ENVIRONMENT

FRANKSTON PLANNING SCHEME

15.01-1S

02/09/2025
VC283

Urban design

Objective

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies

Require development to respond to its context in terms of character, cultural identity and heritage, natural features, surrounding landscape and climate.

Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.

Ensure the interface between the private and public realm protects and enhances personal safety.

Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.

Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.

Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.

Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.

Promote good urban design along and abutting transport corridors.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

FRANKSTON PLANNING SCHEME

15.01-1R Urban design - Metropolitan Melbourne

31/07/2018
VC148

Objective

To create a distinctive and liveable city with quality design and amenity.

Strategies

Support the creation of well-designed places that are memorable, distinctive and liveable.

Integrate place making practices into road space management.

Strengthen Melbourne's network of boulevards.

Create new boulevards in urban-growth areas and selected existing road corridors across Melbourne.

Provide spaces and facilities that encourage and support the growth and development of Melbourne's cultural precincts and creative industries.

FRANKSTON PLANNING SCHEME

15.01-1L-01 Signs

04/05/2022
VC210

Objective

To encourage signs that make a positive contribution to both the day and night-time character of an area.

Strategies - General

Ensure that signs are designed and located to minimise the impact on the surrounding area.

Encourage the consolidation of signage along identified gateway locations.

Discourage the installation of illuminated signs in residential areas.

Discourage signs on buildings that interrupt views into and within a heritage place.

Encourage temporary match related / sporting event signage on sporting facilities and recreation reserves to be limited to match days instead of permanent signage.

Discourage signs on sporting facilities, non-urban areas, recreation reserves and open spaces that are visible from beyond the site.

Avoid advertising signs near exit and entry ramps to major road corridors.

Strategies - Commercial areas

Encourage signs to be located on the main building or canopy.

Encourage a co-ordinated and consistent approach in the design and location of signs.

Ensure signs are designed and located to minimise their impact on surrounding residential areas.

Support signs that are designed to integrate with new buildings.

Avoid signs that cover ground level display windows.

Discourage above veranda and upper level façade signs.

Strategies - EastLink and Peninsula Link

Encourage modest signage that is designed and built to a high quality and shows innovation and responsiveness in its relationship to the established EastLink and Peninsula Link form.

Discourage major promotional signs and sky signs where they have an adverse visual impact in the landscape and design of the EastLink and Peninsula Link freeway corridors.

Discourage signs that promote goods, services, an event or any other matter, not provided, undertaken or sold or for hire on the land or in the building on which the sign is sited.

Policy guidelines

Consider as relevant:

- Limiting signage to premises in a residential zone to a maximum of:
 - Two signs for premises fronting a Transport Zone 2 or Transport Zone 3.
 - One sign for premises fronting a local road.

Policy document

Consider as relevant:

Outdoor Advertising Signage Design Guidelines (Frankston City Council, 2014)

FRANKSTON PLANNING SCHEME

15.01-1L-02 Urban design

10/02/2022
C141fran

Strategies

Support the retention of existing canopy trees.

Encourage the provision of sufficient areas to accommodate the planting of new canopy trees.

Encourage development to utilise rear laneways for vehicle access to prioritise frontages for pedestrians.

Ensure development reinstates redundant vehicle crossings with kerb and channel and or a footpath and nature strip.

FRANKSTON PLANNING SCHEME

15.01-2S

01/01/2024
VC250

Building design

Objective

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Strategies

Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Improve the energy performance of buildings through siting and design measures that encourage:

- Passive design responses that minimise the need for heating, cooling and lighting.
- On-site renewable energy generation and storage technology.
- Use of low embodied energy materials.

Restrict the provision of reticulated natural gas in new dwelling development.

Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.

Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.

Encourage water efficiency and the use of rainwater, stormwater and recycled water.

Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas.

Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.

Encourage development to retain existing vegetation.

Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Waste Management and Recycling in Multi-unit Developments* (Sustainability Victoria, 2019)

FRANKSTON PLANNING SCHEME

15.01-2L-01 Environmentally Sustainable Development

10/06/2022
VC216

Policy application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable development that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.

Energy performance

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management

- Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.
- Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).
- Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

- Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.
- Reduce indoor air pollutants by encouraging use of low-toxicity materials.
- Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

FRANKSTON PLANNING SCHEME

Waste management

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reusable of building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

Policy guidelines

Residential

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 2 - 9 dwellings.
- A building used for accommodation other than dwellings with a gross floor area between 50sqm and 1000sqm.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings.
- A building used for accommodation other than dwellings with a gross floor area of more than 1000sqm.

Non-residential

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

- A non-residential building with a gross floor area of 300sqm to 1000sqm.
- An extension to an existing non-residential building creating between 100sqm to 1000sqm of additional gross floor area (excluding outbuildings).

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- A non-residential building with a gross floor area of more than 1000sqm.
- An extension to an existing non-residential building creating more than 1000sqm of additional gross floor area (excluding outbuildings).

Mixed use

Applicable assessments for the residential and non-residential components of the development.

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning* (IMAP, 2015)

FRANKSTON PLANNING SCHEME

- *Built Environment Sustainability Scorecard 'BESS'* (Council Alliance for a Sustainable Built Environment 'CASBE')
- *Green Star* (Green Building Council of Australia)
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC'* (Melbourne Water)
- *Nationwide House Energy Rating Scheme 'NatHERS'* (Department of Climate Change and Energy Efficiency)
- *Stormwater Treatment Objective - Relative Measure 'STORM'* (Melbourne Water)
- *Urban Stormwater Best Practice Environmental Management Guidelines* (Victorian Stormwater Committee, 1999)
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide* (Sustainability Victoria, 2018).

Commencement

This policy does not apply to applications received by the responsible authority before the gazettal date if this clause.

Expiry

This policy will expire when it is superseded by a comparable provision of the Victoria Planning Provisions.

FRANKSTON PLANNING SCHEME

15.01-2L-02 Efficiency and sustainability

10/06/2022
VC216

Strategy

Encourage energy efficient and passive design in development, including subdivisions, such as lot and building orientation, green roofs and walls, and solar and / or wind powered street lighting.

FRANKSTON PLANNING SCHEME

15.01-3S

01/01/2024
VC250

Subdivision design

Objective

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

Strategies

In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

- Creating compact neighbourhoods that have walkable distances between activities.
- Developing activity centres in appropriate locations with a mix of uses and services and access to public transport.
- Creating neighbourhood centres that include services to meet day to day needs.
- Creating urban places with a strong sense of place that are functional, safe and attractive.
- Providing a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of different groups of people.
- Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
- Protecting and enhancing habitat for native flora and fauna, and providing opportunities for people to experience nature in urban areas.
- Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
- Reduce car dependency by allowing for:
 - Convenient and safe public transport.
 - Safe and attractive spaces and networks for walking and cycling.
 - Subdivision layouts that allow easy movement within and between neighbourhoods.
 - A convenient and safe road network.
- Minimising exposure of sensitive uses to air and noise pollution from the transport system.
- Being accessible to people with disabilities.
- Creating an urban structure that:
 - Responds to climate related hazards.
 - Incorporates integrated water management, including sustainable irrigation of open space.
 - Minimises peak demand on the electricity network.
 - Supports energy efficiency and solar energy generation through urban layout and lot orientation.
 - Supports waste minimisation and increased resource recovery.
- Providing utilities and services that support the uptake of renewable energy technologies, such as microgrids and energy storage systems, including batteries.
- Providing all-electric lots.

Policy documents

Consider as relevant:

FRANKSTON PLANNING SCHEME

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

FRANKSTON PLANNING SCHEME

15.01-4S Healthy neighbourhoods

02/09/2025
VC283

Objective

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

Strategies

Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:

- Connected, safe, pleasant and attractive walking and cycling networks that enable and promote walking and cycling as a part of daily life.
- Streets with direct, safe and convenient access to destinations.
- Conveniently located public spaces for active recreation and leisure.
- Accessibly located public transport stops.
- Amenities and protection to support physical activity in all weather conditions.

Create 20 minute neighbourhoods, that give people the ability to meet most of their everyday needs within a 20 minute walk, cycle or local public transport trip from their home.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

FRANKSTON PLANNING SCHEME

15.01-5S Neighbourhood character

09/10/2020
VC169

Objective

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Strategies

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

- Pattern of local urban structure and subdivision.
- Underlying natural landscape character and significant vegetation.
- Neighbourhood character values and built form that reflect community identity.

FRANKSTON PLANNING SCHEME

15.01-5L Frankston preferred neighbourhood character

30/05/2024
E452fran Proposed C167fran



Policy application

This policy applies to development in a residential zone shown on Map 1 to this Clause.

Objective

Ensure that development is responsive to the preferred future character of the area.

Carrum Downs

CARRUM DOWNS			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 3 & 4	Strengthen the garden settings of the dwellings.	1 & 4	Providing low maintenance vegetation species.
		2 & 3	Providing substantial trees and shrubs as part of development.
		3	Retaining substantial, established trees as part of development.
1, 2 & 3	Preserve the rhythm of dwelling spacing in the area. Site buildings to create the appearance of space.	1 & 2	Providing setbacks on at least one side boundary.
		3	Providing setbacks on all boundaries.
1, 2, 3 & 4	Ensure buildings do not dominate the streetscape.	1, 2, 3 & 4	Articulating the form and elevations of buildings.
1, 2, 3 & 4	Preserve the openness of the streetscape.	2, 3 & 4	Providing no front fences, other than along heavily trafficked roads.
		1	Providing low or open style front fences, other than along heavily trafficked roads.

Frankston

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
2, 3, 5, 6, 7, 8 & 9	Strengthen the garden setting.	3, 5, 6, 7, 8 & 9	Providing low maintenance vegetation species as part of development.
		5, 7 & 8	Retaining substantial, established trees as part of development.
		9	Retaining substantial trees and providing for the planting of new trees particularly on larger sites as part of development.
		2	Providing as part of development: <ul style="list-style-type: none"> ■ Substantial trees and shrubs. ■ Retaining existing substantial trees. ■ Providing setbacks from all boundaries to accommodate trees and substantial shrubs.

FRANKSTON PLANNING SCHEME

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1	Enhance the garden setting and backdrop of native trees.	1	Providing as part of development: <ul style="list-style-type: none"> Low maintenance vegetation species. Retention of existing large trees. Setbacks from at least two boundaries to accommodate large trees.
10	Minimise the loss of front garden space and the dominance of car storage facilities.	10	<ul style="list-style-type: none"> Locating garages and carports behind the existing building line. Minimising hard paved areas in front gardens and using permeable surfaces and materials.
4, 10 & 11 4 & 10	Strengthen the coastal character of the area. Encourage the use of materials and finishes that complement coastal vegetation and setting.	4, 10 & 11	<ul style="list-style-type: none"> Retaining existing coastal native and indigenous trees and understorey vegetation. Locating building footings outside root zones of all trees and shrubs. Providing appropriate coastal species as part of development landscaping.
		4	The use of timber or other masonry sheeting or cladding materials on external surfaces.
2,9	Preserve the rhythm of existing dwelling spacing.	4	<ul style="list-style-type: none"> The use of timber or other non-masonry sheeting or cladding materials or natural materials such as stone. The use of muted colours on external surfaces.
		10	
2, 3, 4, 6, 7, 8, 10 & 11	Ensure buildings do not dominate the streetscape.	2	Providing setbacks on both side boundaries and the rear boundary.
		9	Providing setbacks on at least one side boundary.
		2,6,7,8,10 & 11	Articulating the form and elevation of buildings.
		2	Providing low pitched roof forms.
1, 7, 8, 9- 10, 10 & 11	Preserve the openness of the streetscape.	3	<ul style="list-style-type: none"> Providing for building heights that reflect the predominant existing building heights in the street and nearby properties. Recessing two storey elements from front facades.
		4	Locating buildings away from ridge lines.
		1,7,8 & 9	Providing no front fences, other than along heavily trafficked roads.
		5,6,11	Providing no front fences, or low, open style fences, other than along heavily trafficked roads.
		3 & 4	Providing low or open style front fences, other than along heavily trafficked roads.
		2	Providing no front fences facing the street and low open style fences in other areas, other than along heavily trafficked roads.

FRANKSTON PLANNING SCHEME

FRANKSTON			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		10	Providing low, open style or brush front fences other than along heavily trafficked roads.
4 & 11	Support the sharing of views to the ocean or coast.	4 & 11	Siting buildings to respond to existing view corridors to the ocean and coast of nearby properties.
10	Support the sharing of views to the ocean, creek or coast.	10	<ul style="list-style-type: none"> Siting buildings to respond to existing view corridors to the ocean, creek or coast of nearby properties. Providing setbacks from at least one side boundary (at ground level).
4, 10, & 11	Encourage innovative architecture that respects the coastal setting.	4,10 & 11	Incorporating building elements that contribute to a lightness of structure including balconies, verandas, open or light transparent balustrading and gable ends.
		4 & 10	Designing buildings to respond to the dominant characteristics of the area and the site.
4 & 11	Minimise site disturbance and impact of buildings on the landscape.	4 & 11	<ul style="list-style-type: none"> Utilising the existing contours of the site or step down the site. Minimising the use of retaining walls and battering of slopes.
1, 3, 5, 7- & 8, 8 & 11	Preserve the rhythm of existing dwelling spacing.	1,3,5,7 & 8	Providing setbacks on at least one side boundary.
		4,6 & 11	Providing setbacks on both side boundaries.
4	Protect the escarpment landform west of Cliff Road		Providing setbacks from the escarpment edge.
10	Enhance residential interface with the beach and creek environments.	10	<p>Where a site adjoins the beach or Kananook Creek:</p> <ul style="list-style-type: none"> Locating building mass away from the beach or creek. Setting back the second storey component of any building from the ground floor beach or creek elevation, a distance of at least the ground floor building height. Minimising hard surfaces on sites adjoining the beach and creek environment. Encouraging low or no fences on creek boundary. Designing any high fences to be transparent or mesh.

Frankston North

FRANKSTON NORTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Preserve the rhythm of existing dwelling spacing.	1 & 2	Providing setbacks on both side boundaries.

FRANKSTON PLANNING SCHEME

FRANKSTON NORTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Preserve the openness of the streetscape.	1 & 2	Providing low or open style front fences, other than along heavily trafficked roads.
1 & 2	Ensure that buildings do not dominate the streetscape.	1 & 2	Encouraging low pitched roof forms.
1 & 2	Strengthen the garden settings.	1	<ul style="list-style-type: none"> ■ Providing low maintenance vegetation species and native trees as part of development. ■ Retaining existing native trees.
		2	Providing low maintenance species as part of development.

Frankston South

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 6, 8, 9, 10, 11, 12, 13, & 14	Minimise site disturbance and impact of the building on the landscape.	1, 2, 6, 8, 9, 10, 11, 12, 13 & 14	Utilizing the existing contours of the site or stepping down the site.
1 & 8	Strengthen the continuous flow of vegetation across the landscape.	1 & 8	Providing open front fencing or post and wire style fencing, other than along heavily trafficked roads.
2, 3, 4, 5, 6, 7, 9, 11, 12 & 14	Preserve the openness of the streetscape.	2, 3, 5, 7, 11, 12 & 14	Providing no front fences, other than along heavily trafficked roads.
		4, 6, & 9	Providing no front fences or low, open style front fences, other than along heavily trafficked roads.
6, 9, 10, 11, 13 & 14	Minimise the loss of front garden space and the dominance of car storage facilities.	6,9,10,11 &13	Locating garages and car ports behind the line of the front dwelling.
		6, 9 &11	Minimising paving in front yards, including the driveway.
		14	Locating garages and car ports behind the line of the dwelling, or beside the dwelling within the roofline.
2, 5 & 13	Encourage a garden setting.	2	Retaining substantial native trees and understorey and indigenous vegetation, and provide for the planting of new native trees as part of development.
		5	Providing substantial trees and shrubs as part of development.
		13	<ul style="list-style-type: none"> ■ Providing indigenous and native vegetation as part of development. ■ Retaining substantial native trees and providing for the planting of new native trees and understorey.

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
3	Strengthen the garden settings and the former pastoral landscape.	3	Providing as part of development: <ul style="list-style-type: none"> ▪ Low maintenance vegetation species. ▪ Retention of substantial trees and any remnant vegetation. ▪ The planting of new native trees.
4	Strengthen the garden settings of the dwellings and rural treed backdrop.	4	Providing as part of development: <ul style="list-style-type: none"> ▪ The planting of substantial trees and shrubs. ▪ Retention of substantial trees and indigenous vegetation.
6	Encourage the extension of the Sweetwater Creek vegetation qualities into the surrounding residential area and to strengthen the garden settings of the dwellings.	6	Providing as part of development: <ul style="list-style-type: none"> ▪ Retention of substantial native trees. ▪ The planting of new native trees and understorey. ▪ Locating building footings outside of root zones. ▪ Providing setbacks from at least two boundaries to accommodate large trees. ▪ Providing setbacks on sites greater than 700 square metres, from all boundaries to accommodate large trees and other vegetation.
9, 10, 11 & 14.	Strengthen the coastal bush settings and the relationship to the landscape of the Sweetwater Creek environs.	10 & 11	Providing as part of development: <ul style="list-style-type: none"> ▪ Indigenous coastal species, particularly in areas visible from the street. ▪ Retention of substantial native trees. ▪ New native trees and understorey.
		9 & 14	Providing as part of development: <ul style="list-style-type: none"> ▪ Substantial trees and shrubs and indigenous vegetation in areas visible from the street. ▪ Setbacks from at least two boundaries sufficient distance to accommodate substantial vegetation. ▪ Retention of substantial trees. ▪ The planting of new native trees and understorey. ▪ Locating building footings outside of root zones.
12	Strengthen the coastal character of the area by planting of appropriate coastal species.	12	Providing as part of development: <ul style="list-style-type: none"> ▪ Retention of existing coastal native and indigenous trees and understorey vegetation.

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			<ul style="list-style-type: none"> The planting of appropriate coastal species. Locating building footings outside of root zones.
1	Strengthen the vegetation dominated landscape and the relationship to the vegetation qualities of the Sweetwater Creek environs.	1	Providing as part of development substantial native trees and shrubs including: <ul style="list-style-type: none"> Retention of substantial, established native trees and understorey vegetation. The planting of new native trees. Space for the planting of substantial vegetation. Locating building footings outside of root zones for established and new trees.
7 & 8	Strengthen the rural bush setting and the relationship to the landscape of the Sweetwater Creek environs.	7 & 8	Providing as part of development: <ul style="list-style-type: none"> Native and indigenous coastal trees and understorey, particularly in areas visible from the street. Retention of substantial native trees and indigenous vegetation.
		7	Providing setbacks from both side and rear boundaries to accommodate substantial trees as part of development.
		8	Siting and designing buildings to incorporate space for the planting of substantial vegetation. Locating building footings outside root zones.
1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14	Preserve the rhythm of existing dwelling spacing.	4 & 5	Providing setbacks on one side boundary.
		2 & 6	Providing setbacks on both side boundaries and the rear boundary.
		2, 3, 6, 7, 10, 11, 12, 13 & 14	Providing setbacks on both side boundaries and the rear boundary.
		1 & 8	Providing setbacks on all boundaries.
		6	Providing setbacks on both side boundaries and the rear boundary for lots greater than 700sqm.
1, 6, 7, 8, 9, 10, 11, 13 & 14	Ensure adequate spaces are provided for the retention and planting of vegetation.	6, 9, 10, 11 & 14	Minimising building site coverage.
		1, 7, 8 & 13	Minimising building site coverage and areas covered by impervious surfaces.

FRANKSTON PLANNING SCHEME

FRANKSTON SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
6, 7, 8, 9, 10, 11 & 14	Enhance the residential interface with the creek environment on sites adjacent to Sweetwater Creek.	6, 7, 8, 9, 10, 11 & 14	Where a site adjoins Sweetwater Creek: <ul style="list-style-type: none"> ▪ Locating building mass away from the creek. ▪ Setting buildings at least 10 metres from the creek reserve boundary or from any slope of 10% or greater. ▪ Minimising hard surfaces on sites adjoining the creek. ▪ Providing no or low fences on creek boundary. ▪ Designing any high fences to be transparent or mesh.
13	Enhance the residential interface with the coast and creek environments on adjoining sites.	13	Where a site adjoins the coast, or Kackeraboite Creek: <ul style="list-style-type: none"> ▪ Locating building mass away from the coast or creek. ▪ Setting back the second storey component of any building from the ground floor coast or creek elevation a distance of at least the ground floor building height.
7, 10, 11 & 12,	Ensure new buildings do not dominate the streetscape and the wider landscape setting.	7, 8, 10, 11 & 12	Articulating the form and elevation of buildings.
		12	Locating buildings away from ridgelines.
2, 3 & 14	Ensure buildings do not dominate the streetscape.	2, 3 & 14	Articulating the form and elevation of buildings.
12	Provide for reasonable sharing of views to the ocean or coast.	12	Siting buildings to respond to existing view corridors to the ocean or coast from nearby properties.
12 & 13	Encourage innovative architecture that respects the coastal settings.	12, 13	Incorporating as part of development: <ul style="list-style-type: none"> ▪ Building elements and details that contribute to a lightness of structure including balconies, verandas, light transparent balustrading and gable ends. ▪ Timber or other non-masonry sheeting or cladding materials.
		12	Incorporating as part of development subdued colours on external finishes.
		13	Incorporating as part of development rendering, baging or painted masonry surfaces.
13	Maintain the openness of the streetscape.	13	Providing open style front fences other than along highly trafficked roads.

FRANKSTON PLANNING SCHEME

Langwarrin

LANGWARRIN			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1, 2, 3, 4 & 6	Strengthen the garden settings and encourage the retention and planting of indigenous vegetation.	1, 2, 3 & 4	Providing as part of development: <ul style="list-style-type: none"> Low maintenance vegetation species. Retention of large, established trees. The planting of new native and indigenous trees, particularly on larger sites. Adequate space for tree planting.
		6	Providing as part of development: <ul style="list-style-type: none"> Substantial trees and shrubs. Retention of large, established trees and understorey. The planting of new native trees. Space for the planting of substantial vegetation. Locating building footings outside root zones.
5	Strengthen the garden settings.	5	Providing as part of development: <ul style="list-style-type: none"> Low maintenance vegetation species. Retention of large, established trees. The planting of new native trees, particularly on larger sites. Adequate space for tree planting.
1, 2, 3, 4 & 5	Maintain the openness of the streetscape.	1, 2, 3, 4 & 5	Providing low open style front fences.
6	Preserve the existing rhythm of dwelling spacing.	6	Providing set backs from all boundaries to create a semi rural setting with space for generous landscaping.
1, 2, 4 & 6	Encourage building elements that respects the creekside or any wetland environment and do not dominate the landscape.	1, 2, 4 & 6	Where a site adjoins Boggy Creek or a wetland: <ul style="list-style-type: none"> Locating building mass away from the creek or wetland. Setting back the second storey component of any building from the ground floor creek or wetland elevation a distance of at least the ground floor building height.
2, 5 & 6	Minimise site disturbance and impact of buildings on the landscape.	2, 5 & 6	Utilizing the existing contours of the site or step down the site as part of development.
1, 2, 3, 4 & 5	Preserve the rhythm of existing dwelling spacing.	1, 2 & 3	Providing setbacks on at least one side boundary and preferably both.
		4 & 5	Providing setbacks on both side boundaries.
1, 2, 3, 4, 5 & 6	Ensure buildings do not dominate the streetscape.	1, 2, 3, 4 & 5	Articulating the form and elevation of buildings.

FRANKSTON PLANNING SCHEME

LANGWARRIN			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		6	Providing muted colours and tones on external finishes.
6	Enhance the continuous flow of vegetation across the landscape.	6	Providing no fencing or post and wire style fencing, other than along heavily trafficked roads.
3	Encourage building elements that respects the creekside or any wetland environment and do not dominate the landscape.	3	Where a site adjoins Boggy Creek, Little Boggy Creek or a wetland: <ul style="list-style-type: none"> Locating building mass away from the creek or wetland. Setting back the second storey component of any building from the ground floor creek or wetland elevation a distance of at least the ground floor building height.

Langwarrin South

LANGWARRIN SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1	Strengthen the native vegetation dominated streetscapes.	1	Providing as part of development: <ul style="list-style-type: none"> Landscaping that includes substantial trees and vegetation. Retention of large, established trees and understorey. The planting of new native trees. Siting and designing buildings to incorporate space for the planting of substantial vegetation. Locating building footings outside of root zones.
1	Minimise site disturbance and impact of the building on the landscape.	1	Utilizing existing contours of the site or step down the site.
1	Preserve the existing rhythm of dwelling spacing.	1	Providing set backs from all boundaries to create a semi rural setting with space for generous landscaping.
1	Ensure buildings do not dominate the streetscape and wider landscape setting.	1	Providing muted colours and tones on external finishes.
1	Enhance the continuous flow of vegetation across the landscape.	1	Providing no fencing or post and wire style fencing other than along heavily trafficked roads.
1	Encourage building elements that respects any wetland environment and do not dominate the landscape.	1	Where a site adjoins a wetland: <ul style="list-style-type: none"> Locating building mass away from the wetland. Setting back the second storey component of any building from the ground floor wetland elevation a

FRANKSTON PLANNING SCHEME

LANGWARRIN SOUTH			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			distance of at least the ground floor building height.

Seaford

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
4, 5 & 7	Strengthen the coastal garden settings.	4, 5 & 7	<ul style="list-style-type: none"> ▪ Retaining existing coastal native and indigenous trees and understorey. ▪ Locating footings outside root zones. ▪ Providing coastal vegetation species, including trees, with an emphasis on indigenous species as part of development.
		4	The use of timber or other non-masonry sheeting or cladding materials in streets where weatherboard predominates.
4, 5 & 7	Encourage building elements that respects the creekside environment and do not dominate the landscape.	4	Where a site adjoins Kananook Creek: <ul style="list-style-type: none"> ▪ Locating building mass away from the creek. ▪ Setting back the second storey component of any building from the ground floor creek elevation a distance of at least the ground floor building height.
		7	Where a site adjoins Kananook Creek: <ul style="list-style-type: none"> ▪ Locating building mass away from the creek. ▪ Setting back the second and third storey component of any building from the creek elevation a distance of at least the height of the floor below. ▪ Minimising hard surfaces on sites adjoining the creek environment. ▪ Providing no or low fences on creek boundary. ▪ Designing any high fences to be transparent or mesh. ▪ Retaining creekside vegetation. ▪ Providing for revegetation.
		5	Where a site adjoins Kananook Creek or the Seaford Wetlands: <ul style="list-style-type: none"> ▪ Locating building mass away from the creek or wetlands. ▪ Setting back the second storey component of any building from the ground floor creek or wetland elevation

FRANKSTON PLANNING SCHEME

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
			a distance of at least the ground floor building height.
1, 3, 6, 8 & 9	Strengthen the garden settings.	1	Providing as part of development: <ul style="list-style-type: none"> Low maintenance vegetation species. Retention of existing native trees. The planting of indigenous trees and shrubs.
		3 & 6	Providing low maintenance plants, with an emphasis on indigenous species as part of development.
		6	Retaining large, established native trees as part of development.
		8 & 9	Providing low maintenance vegetation species as part of development.
2	Strengthen the garden settings and backdrop of canopy trees.	2	Providing as part of development: <ul style="list-style-type: none"> Low maintenance vegetation species. Areas for the planting of trees and other substantial vegetation. Retention of large, established trees. Setbacks from a side or rear boundary a sufficient distance to accommodate at least one large tree, and more trees on larger sites.
1, 2, 3, 4, 7, 8 & 9,	Ensure buildings do not dominate the streetscape.	1 & 2	Providing low pitched roof forms.
		4	Providing skillion, flat, single pitch or low pitched roof forms.
		3, 4, 7, 8 & 9	Articulating the form and elevations of buildings.
5 & 6	Ensure that buildings do not dominate the streetscape and wider landscape setting.	5 & 6	For buildings adjoining the Wetlands minimising visual impact when viewed from the wetlands reserve through the use of massing, forms, muted colours and materials.
		5	Providing low pitched roof forms.
6	Encourage building elements that respect the wetland environment and do not dominate the landscape.		Where a site adjoins the Seaford Wetlands: <ul style="list-style-type: none"> Locating building mass away from the wetlands. Setting back the second storey component of any building from the ground floor wetland elevation a distance of at least the ground floor building height.
1, 2, 3, 4, 5, 6, 7, 8 & 9	Preserve the openness of the streetscape.	1, 3, 4, 5 & 6	Providing no or low, open style front fences, other than on heavily trafficked roads.
		2 & 9	Providing low or open style front fences other than on heavily trafficked roads.

FRANKSTON PLANNING SCHEME

SEAFORD			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
		7	Providing open style front fences, other than along heavily trafficked roads, or using vegetation as a screening device.
		8	Providing no front fences, other than on heavily trafficked roads.
5 & 7	Encourage innovative architecture that respects and compliments the coastal settings and vegetation.	5 & 7	Incorporating timber or other non-masonry sheeting or cladding materials.
		7	Providing as part of development: <ul style="list-style-type: none"> Subdued colours on external finishes. Building elements and details that contribute to a lightness of structure including balconies, verandas, light transparent balustrading and gable ends.
7	Minimise the impact of buildings over two storeys on the streetscape.	7	Recessing parts of buildings over two (2) storeys: <ul style="list-style-type: none"> From the facade of lower levels. At least three (3) metres from the front facade.
1, 2, 3, 4, 5, 6, 7, 8 & 9	Preserve the rhythm of existing dwelling spacing.	1, 3, 4, 5 & 6	Providing setbacks that allow for tree planting.
		8 & 9	Providing setbacks on at least one boundary.
		2	Providing setbacks on at least one side boundary and preferably both.
		7	Providing setbacks on both side boundaries.
7	Preserve sharing of views to the ocean, creek or coast.	7	Sitting buildings to respond to view corridors to the ocean, creek or coast from nearby properties and public areas.

Skye

SKYE			
Strategies		Policy guidelines	
Precincts		Precincts	Consider as relevant:
1 & 2	Strengthen the garden settings.	1 & 2	Providing low maintenance vegetation species as part of development.
1 & 2	Preserve the rhythm of existing dwelling spacing.	1 & 2	Providing setbacks on at least one side boundary.
1 & 2	Ensure that buildings do not dominate the streetscape.	1 & 2	Articulating the form and elevations of buildings.
1 & 2	Preserve the openness of the streetscape.	1 & 2	Providing no front fences, other than on heavily trafficked roads.

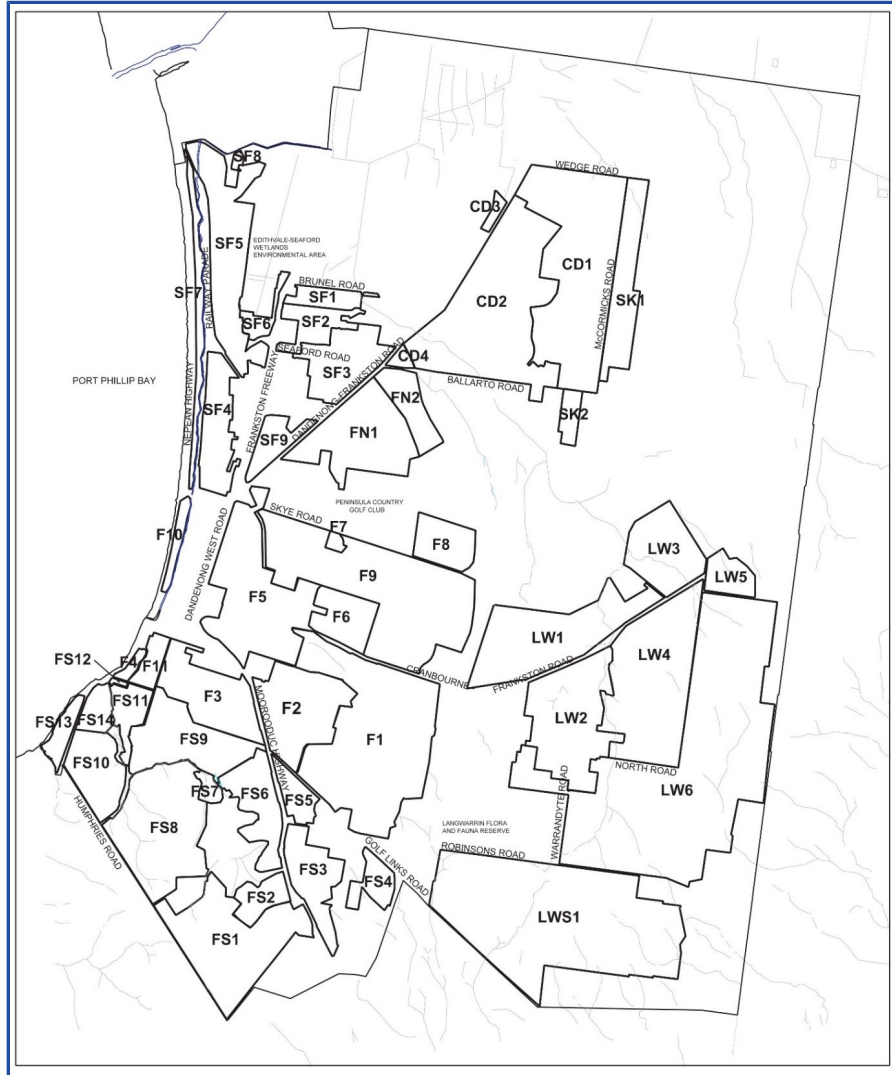
FRANKSTON PLANNING SCHEME

Policy documents

Consider as relevant:

- Frankston City Neighbourhood Character Study, including all Neighbourhood Character Precinct brochures (Planisphere and John Curtis Pty Ltd, 2002)

Frankston City Council – Neighbourhood Character Precincts – Map 1



FRANKSTON PLANNING SCHEME

15.01-6S

31/07/2018
VC148

Design for rural areas

Objective

To ensure development respects valued areas of rural character.

Strategies

Ensure that the siting, scale and appearance of development protects and enhances rural character.

Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.

Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

FRANKSTON PLANNING SCHEME

23/05/2019
 6133fran Proposed C167fran

SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Shown on the planning scheme map as RIZ and GRZ2GRZ1.



GENERAL RESIDENTIAL AREAS

1.0 Neighbourhood character objectives

23/05/2019
 C133fran

None specified.

2.0 Construction or extension of a dwelling, small second dwelling or residential building - minimum garden area requirement

26/04/2024
 VC252

Is the construction or extension of a dwelling, small second dwelling or residential building exempt from the minimum garden area requirement?

No

3.0 Requirements of Clause 54 and Clause 55

08/09/2025
 VC282

	Standard	Requirement
Minimum street setback	A2-1	None specified
	B2-1	None specified
Site coverage	A2-5	None specified
	B2-5	None specified
Private open space	A3-2	None specified
	B3-5	None specified
Front fence height	A2-7 and B2-8	None specified

4.0 Maximum building height requirement for a dwelling, small second dwelling or residential building

26/04/2024
 VC252

None specified.

5.0 Application requirements

26/04/2024
 VC252

None specified.

6.0 Decision guidelines

26/04/2024
 VC252

None specified.

FRANKSTON PLANNING SCHEME

2.0
 11/04/2025
 C160fran

Land use and development objectives to be achieved

General

To develop the Frankston Metropolitan Activity Centre (MAC) as the retail, commercial, hospitality, civic, cultural, creative, community and entertainment destination for Melbourne’s south-eastern metropolitan region.

To encourage a diverse range of housing choices that provide for on and off-site amenity at increased densities including affordable housing.

Development

To facilitate development at a scale that reflects the Frankston MAC’s role as a Metropolitan Activity Centre while responding to the coastal setting and character of Frankston.

To encourage high quality built form that is consistent with the role of the Frankston MAC as a Metropolitan Activity Centre.

To encourage built form that contributes to a safe, engaging, active and attractive public realm and which provides innovative approaches to dealing with potential inundation.

To encourage built form that contributes to human scaled streets.

To ensure development respects sensitive amenity and environmental interfaces including residential interfaces, Kananook Creek and the Frankston Foreshore.

To increase tree canopy cover and landscaping within private and public land across the Frankston MAC.

To ensure that development anticipates the impacts of climate change and is resilient to the potential impacts of inundation.

Transport and access

To improve walkability and pedestrian amenity in the Frankston MAC.

To improve connectivity through the Frankston MAC.

To ensure that the location and design of car parks, loading bays, services areas and associated vehicle access promotes active street frontages, does not dominate public spaces and supports safe use and access.

Public realm

To maintain adequate sunlight access to the public realm and public open spaces at key times of the year.

3.0
 11/04/2025
 C160fran

Table of uses

Section 1 - Permit not required

Use	Condition
Accommodation (other than Camping and caravan park, Corrective institution, and Host farm)	Any frontage at ground floor level must not exceed 2 metres in Precincts 1, 2, 3, 4 & 6.
Art and craft centre	
Art gallery	
Automated collection point	Must meet the requirements of Clause 52.13-3 and 52.13-5.

FRANKSTON PLANNING SCHEME

Use	Condition
	The gross floor area of all buildings must not exceed 50 square metres.
Bank	
Cinema	Must be located in Precinct 1.
Cinema based entertainment facility	Must be located in Precinct 1.
Child care centre	Must be located in Precincts 2 or 5.
Education centre (other than Child care centre)	Any frontage at ground floor level must not exceed 2 metres in Precinct 1 or 3.
Exhibition centre (other than Art gallery)	Must be located in Precinct 3.
Food and drink premises	Must not be located in Precinct 5.
Function centre	Any frontage at ground floor level must not exceed 2 metres in Precinct 1. Must not be located in Precincts 4 or 5.
Home based business	
Informal outdoor recreation	
Library	
Office (other than Bank, Real estate agency and Travel agency)	Any frontage at ground floor level must not exceed 2 metres in Precincts 1, 2, 3, 4 & 6.
Place of worship	The gross floor area of all buildings must not exceed 250 square metres. Any frontage at ground floor level must not exceed 2 metres in Precinct 1.
Railway station	
Real estate agency	
Retail premises (other than Food and drink premises, Gambling premises, Market, Motor vehicle, boat or caravan sales, Primary produce sales, Shop and Timber yard)	Must be located in Precinct 1 or 6.
Restricted retail premises	Must be located in Precinct 6.
Shop (other than Adult sex product shop, Bottle shop, Restricted retail premises and Supermarket)	
Supermarket	Must be located in Precinct 1.
Tramway	
Travel agency	
Any use listed in Clause 62.01	Must meet requirements of Clause 62.01.

FRANKSTON PLANNING SCHEME

Section 2 - Permit required

Use	Condition
Adult sex product shop	Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from a residential zone or, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school. Must be located in Precinct 1.
Bottle shop	Must be located in Precinct 1 or 6.
Car park	Must be located in Precinct 1, 2 or 3.
Car wash	Must not be located in Precincts 1, 3 or 4.
Dry cleaner	Must be located in Precinct 1 or 6.
Gambling premises	Must be located in Precinct 1.
Market	
Nightclub	Must be located in Precinct 1. Any frontage at ground floor level must not exceed 2 metres.
Place of Assembly (other than Cinema, Cinema based entertainment facility, Drive-in theatre, Exhibition centre, Function centre, Library, Nightclub and Place of worship)	
Research and development centre	Must not be located in Precincts 1 or 3.
Service station	Must not be located in Precincts 1, 3 or 4.
Any other use not in Section 1 or 3	

Section 3 – Prohibited

Use
Agriculture
Camping and caravan park
Cemetery
Corrective institution
Crematorium
Drive-in theatre
Host farm
Industry (other than Automated collection point, Car wash, Dry cleaner and Research and development centre)
Major sports and recreation facility
Motor racing track

FRANKSTON PLANNING SCHEME

Use

Motor vehicle boat or caravan sales

Primary produce sales

Recreational boat facility

Saleyard

Timber yard

Transport terminal (other than Railway station, Bus terminal and Heliport)

Warehouse

4.0

11/04/2025
C160fran

Centre-wide provisions

4.1

11/04/2025
C160fran

Use of land

None specified.

4.2

11/04/2025
C160fran

Subdivision

None specified.

4.3

11/04/2025
C160fran

Buildings and works

No permit is required to construct a building or construct or carry out works for the following:

Precincts 1, 2, 3, 4 and 6

- Install an automatic teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter
 - At least 80 per cent of the building façade at ground floor level is maintained as an entry or window with clear glazing.
- Install an awning or canopy that projects over a road if it is authorised by the relevant public land manager.

Precinct 5

- Alter or extend one dwelling on a lot with an area of 300 square metres or greater.
- Construct or extend an out-building (other than a garage or carport) on a lot with an area of less than 300 square metres, provided the gross floor area of the out-building does not exceed 10 square metres and the maximum building height is not more than 3 metres above natural ground level.

4.4

11/04/2025
C160fran

Design and development

The following design and development requirements apply to an application to construct a building or construct or carry out works:

General

Encourage the reconfiguration and consolidation of land where necessary to create viable development sites and optimal development of the activity centre.

Avoid the fragmentation of land that would result in sites not achieving the optimal development of the activity centre.

FRANKSTON PLANNING SCHEME

Encourage buildings that contain residential uses to provide a diversity of housing sizes and types including affordable housing.

Active frontages and interface with the public realm

Where **Diagram 1** indicates the provision of Primary Active Frontage Areas, incorporate a minimum of 80 per cent windows or entries with clear glazing along the ground level frontage.

Where **Diagram 1** indicates the provision of Secondary Active Frontage Areas, incorporate a minimum of 40 per cent windows or entries with clear glazing along the ground level frontage.

Design building interfaces to promote street level activity and surveillance of adjoining streets through activated frontages.

Provide canopies or verandahs on all buildings located in the Primary Active Frontage Areas and Active Frontage Areas.

Canopies or verandahs should be at an appropriate height above the footpath and sufficiently set back from the kerb to avoid damage from large vehicles while still providing effective weather protection, between 3.0m and 4.0m above the footpath level and 750mm from the kerb, and generally consistent with adjoining sites.

Design buildings to mitigate wind impacts to the public realm and building occupants including through providing measures to achieve suitable wind conditions around buildings.

Use materials in street wall levels that are tactile and visually interesting to reinforce the human scale.

Break up long expanses of floor to ceiling glazing within the street wall levels with a mixture of materials.

Avoid presenting blank walls to the public realm.

Within street wall levels above ground floor, design balconies to be embedded so that the street wall remains consistent while still supporting surveillance of the streets and adjoining public spaces.

Design upper levels of buildings, above the street wall, to provide habitable rooms or spaces with windows or balconies that overlook the public realm.

Design buildings on corner sites to actively address both frontages at all levels.

Design and site building entries to:

- Directly front the street.
- Be clearly defined and legible from the public realm.
- Be accessible for all abilities.
- Be safe for all users by being well lit, highly visible and avoiding concealed spaces.

In mixed use buildings, design residential entries to distinguish them from retail or commercial entries.

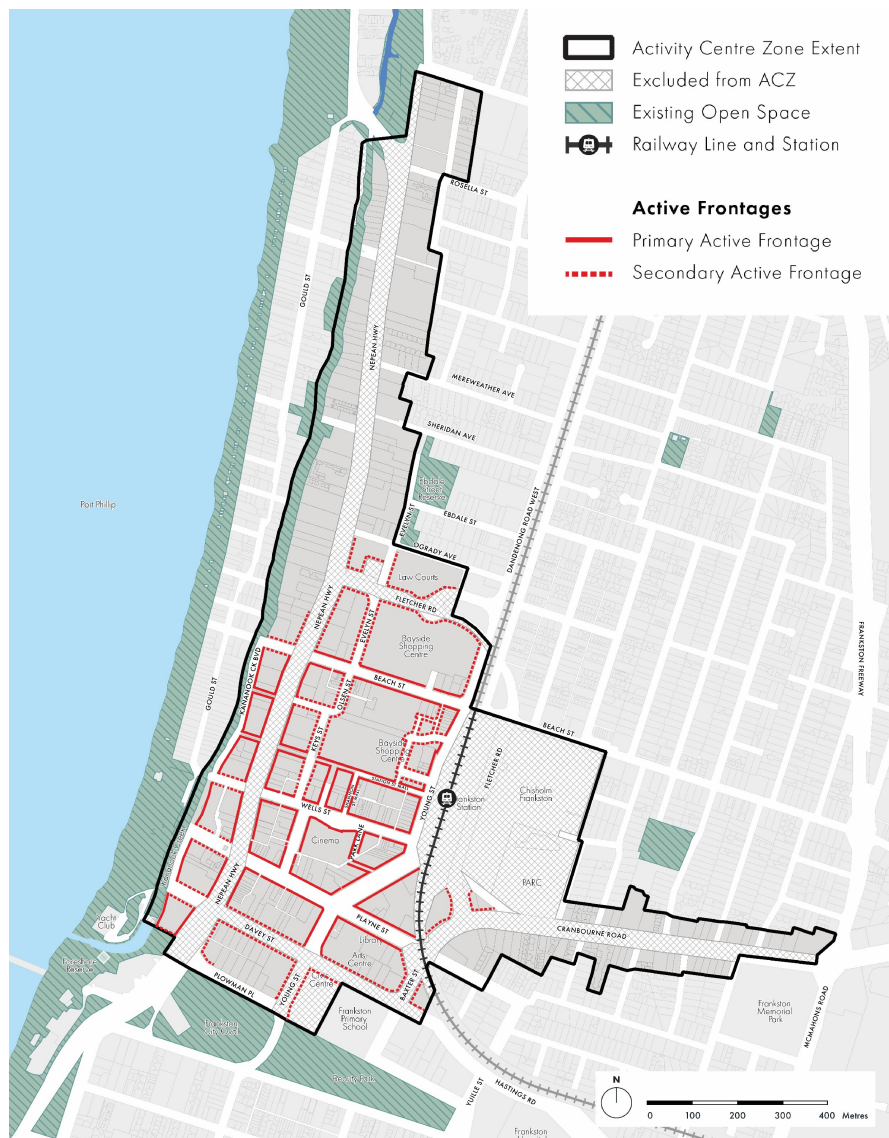
Encourage the provision of art, including sculptures, murals or similar, in areas that interface with the public realm.

Encourage buildings in areas subject to inundation to keep internal finished floor levels above the flood level and to provide any transition to ground level setbacks internally to the building where practicable.

Pedestrian Links should be either open to the sky or enable views of the sky.

Diagram 1 - Active Frontages

FRANKSTON PLANNING SCHEME



Sustainable and adaptive use

Design buildings to support a high level of internal amenity and adaptation over time, including by providing minimum floor to floor heights in accordance with the requirements in Table 1.

Table 1– Floor to floor heights

Precinct	Preferred minimum floor to floor heights at ground level	Preferred minimum floor to floor heights above ground level to street wall height	Preferred minimum floor to floor heights above street wall height
1, 2, 3, 4 & 6	4.0m for all uses	3.5m for all uses	3.5m for non-residential uses

FRANKSTON PLANNING SCHEME

Precinct	Preferred minimum floor to floor heights at ground level	Preferred minimum floor to floor heights above ground level to street wall height	Preferred minimum floor to floor heights above street wall height
5	4.0m for non-residential uses 3.2m for residential uses	3.5m for non-residential uses 3.2m for residential uses	3.2m for residential

Provide basement car parking wherever possible.

Where the provision of basement car parking is not possible due to site or environmental constraints, and parking needs to be provided above ground in the street wall levels, design the levels to meet the requirements for non-residential uses in accordance with the requirements in Table 1.

Sleeve parking provided in street wall levels with active uses.

Avoid providing car parking above street wall levels.

Side and rear setbacks and building separation

Unless otherwise indicated in the Precinct requirements walls are to be built to the side boundaries up to the street wall height.

Where development shares a common boundary with an adjoining site and no setbacks are identified in the specific Precinct requirements, provide side and rear setbacks above the street wall height in accordance with the requirements set out in Table 2 and illustrated in Diagram 2.

Where sites are separated by a laneway which is not shown as a pedestrian link, apply side and rear setbacks above the street wall height from the centre of the laneway or a minimum setback above the street wall height of 3.0m, whichever is greater.

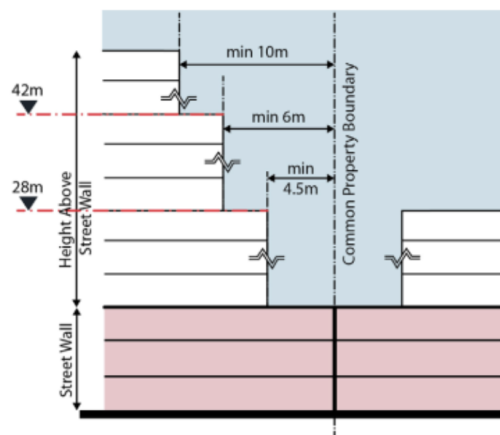
Where there are multiple towers within the site, provide tower separation in accordance with the requirement in Table 2.

Table 2 - Side and rear setbacks above street wall height

Building height	Preferred minimum side and rear setback above the street wall height	Preferred minimum tower separation within a site above the street wall height
Up to 28.0m	4.5m	9.0m
Above 28.0m up to 42.0m	6.0m	12.0m
Above 42.0m	10.0m	20.0m

Diagram 2 – Side and rear setbacks above street wall height

FRANKSTON PLANNING SCHEME



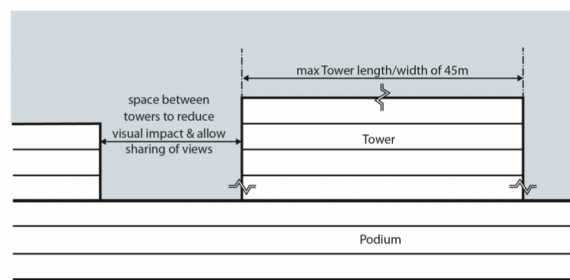
Ensure that sufficient setbacks are provided as needed to allow for vehicle access, car parking and servicing.

Design of tower elements

Design buildings with a maximum tower length/width of 45 metres to reduce visual impact and allow for sharing of views. Refer to **Diagram 3**.

Where buildings include a tower component articulate all facades of the tower.

Diagram 3 – Length/width of tower elements



Building design and layout

Design buildings to incorporate a coastal aesthetic through measures including architectural detail and articulation, and the use of materials, textures and finishes that complement the coastal landscape.

Articulate building facades through the design of openings, balconies, varied materials, recessed and projected elements, and revealing structural elements, instead of relying on excessive use of materials.

Projections such as balconies, building services and architectural features should not intrude into upper level front, side and rear setbacks above the street wall height.

Address the visual impact of large buildings through significant breaks and recesses in building massing.

Provide consistent street, side and rear setbacks for the majority of the upper levels above the street wall height to avoid repetitive stepped elements.

Design buildings to create an interesting and varied skyline.

FRANKSTON PLANNING SCHEME

Buildings should be built or clad with high quality, robust materials that do not generate reflected disability or discomfort glare, and can withstand the effects of weathering.

Site, design, layout and construct buildings to include acoustic attenuation measures to manage noise levels from on and off-site noise sources.

Site, design, layout and construct dwellings within buildings to minimise noise transmission within the site and to adjoining sites.

Avoid relying on excessive screening to prevent overlooking.

Articulate walls on boundaries that will eventually be built out with measures such as the use of art, pre-cast patterned concrete or similar.

Access and services

Rooftop services may exceed the maximum building height provided they are:

- No more than 3.6 metres above the maximum building height.
- Stepped back on all sides no less than 3 metres from the edge of the building.
- Screened from view.

Provide vehicle access to loading and waste areas, services and car parking from laneways and secondary streets and locate these areas away from streets and public spaces or within basements or upper levels. Access doors should be designed as an integrated element of the building.

Where vehicle access cannot be provided from laneways and secondary streets, access points should be minimised to reduce disruption to the footpaths and on-street car parking and located to avoid street trees.

Integrate and design services and utilities in such a way that they blend with the overall design of the development.

Avoid or minimise building utilities and services at ground floor street frontages to prioritise active frontages.

Ensure all services located on balconies, such as air conditioning units, are screened from public view.

Landscaping, landscaped setbacks and open space

Where landscaped setbacks are specified in Precinct requirements:

- Provide integrated, well designed soft landscape within sites to reduce the impact of urban heat island effect, provide increased biodiversity and habitat and contribute to a strong, visually engaging landscape character maximising the use of ground level setbacks.
- Incorporate landscaping areas that comprise a minimum of 60 per cent of the total front setback area.
- Maximise deep soil planting areas in front and rear setbacks to incorporate canopy trees.
- Avoid projections such as balconies and building services into the landscaped setbacks.

Encourage the use of green roofs, walls and balconies to further contribute to a visually engaging landscape character and reduce the impact of urban heat island effect.

Encourage planting themes that use a minimum of 40 per cent indigenous and 40 per cent native species to respect the coastal character of the local area.

Encourage the provision of communal garden spaces at podium and rooftop levels to create amenity for residents, workers and visitors.

FRANKSTON PLANNING SCHEME

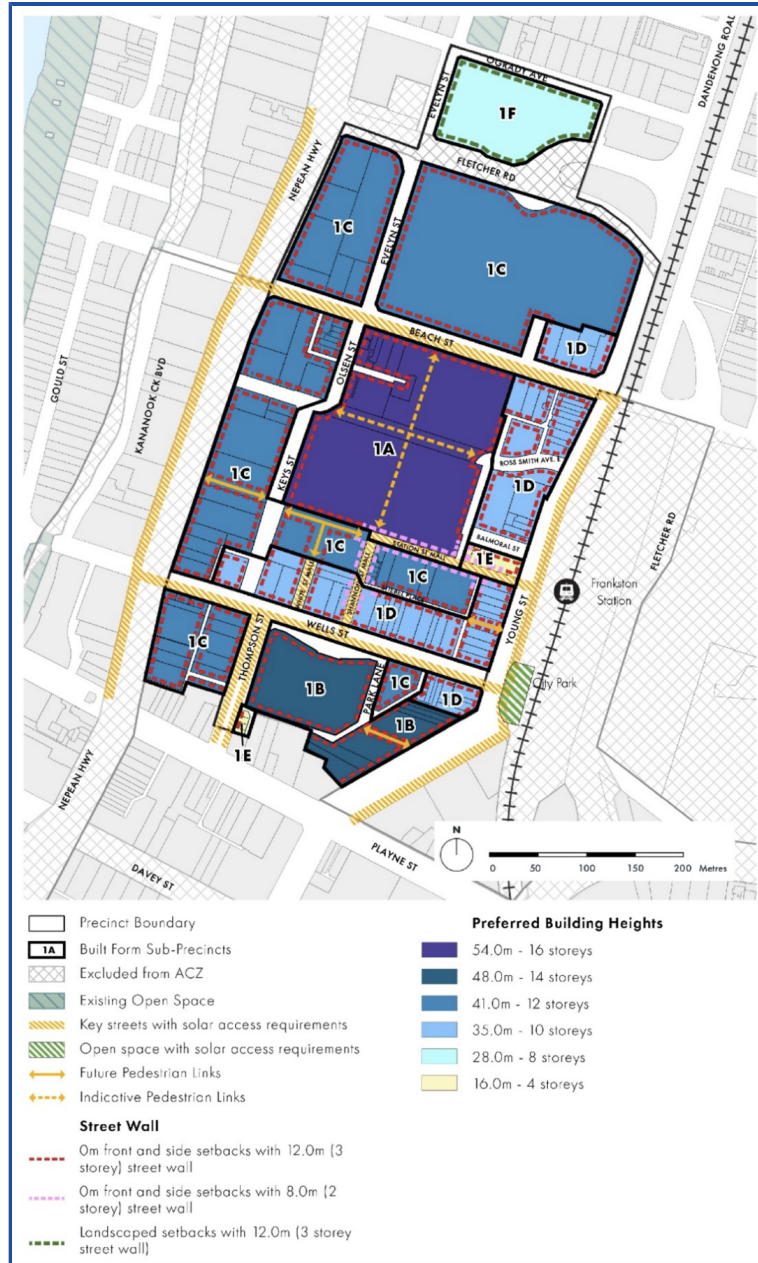
5.0 Precinct provisions

11/04/2025
 G160 from Proposed C167 from



5.1 Precinct 1 – City Centre

5.1-1 Precinct map



FRANKSTON PLANNING SCHEME

5.1-2 Precinct objectives

To maintain the City Centre as the focus for retail, dining and entertainment uses across the day and night.

To support residential, office, accommodation and other uses on upper levels of buildings.

To encourage built form outcomes that reflect the role of the City Centre and maintain a pedestrian scale at street level with taller building elements set above and behind.

To maintain and enhance the fine-grain rhythm of shopfronts across the City Centre streets.

To improve walkability and pedestrian amenity in the City Centre and connections between the City Centre and the Promenade.

5.1-3 Precinct requirements

Table 3 – Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
1A	54.0m (16 storeys)	All streets and all laneways 12.0m (3 storeys) other than to Shannon Mall and Station Street Mall where the street wall height is 8.0m (2 storeys). Where a building is on a corner, apply the street wall height as shown on the Precinct map at 5.1-1.
1B	48.0m (14 storeys)	
1C	41.0m (12 storeys)	
1D	35.0m (10 storeys)	
1E	16.0m (4 storeys)	
1F	22.0m (6 storeys)	

Table 4 – Building setbacks

Sub-precinct	Preferred building setback	Preferred minimum upper level setbacks
1A	0.0m to all streets.	5.0m upper level setback from the street wall.
1B		3.0m upper level setback from a street wall where the street wall abuts a pedestrian link.
1C		
1D		
1E		
1F	Minimum 3.0m to all streets for the provision of landscaping.	

Table 5 – Pedestrian links

Sub-precinct	Property	Preferred minimum width
1B	122-124 Young Street	6.0m
1C	431 Nepean Highway	3.4m from southern boundary.
	19 Keys Street	5.6m from northern boundary.
	12 Balmoral Walk	12.3m from northern boundary for the continuation of the Shannon Street Mall. 9.5m to align with the Station Street Mall.
	76 Young Street	6.0m to align with Stiebel Place.

FRANKSTON PLANNING SCHEME

Table 6 – Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Nepean Highway	Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer to Diagram 4).	Between 10am and 2pm on 22 September.
Wells Street	Entire southern footpath to the kerb line.	
Beach Street	Entire southern footpath to the kerb line.	
Thompson Street	Entire eastern and western footpaths to the kerb line.	
Young Street	Entire eastern footpath to the kerb line.	
City Park	All (Refer to Diagram 5).	Between 10am and 1pm on 22 June.
Shannon Mall	All (Refer to Diagram 6).	No additional shadow beyond what would be cast by an 8.0m (2 storey) street wall between 10am and 1pm on 22 September.
Station Street Mall	All (Refer to Diagram 6).	No additional shadow beyond what would be cast by an 8.0m (2 storey) street wall at 10am on 22 September.
White Street Mall	All (Refer to Diagram 7).	No additional shadow beyond what would be cast by a 12.0m (3 storey) street wall between 10am and 1pm on 22 September.

Diagram 4 Nepean Highway

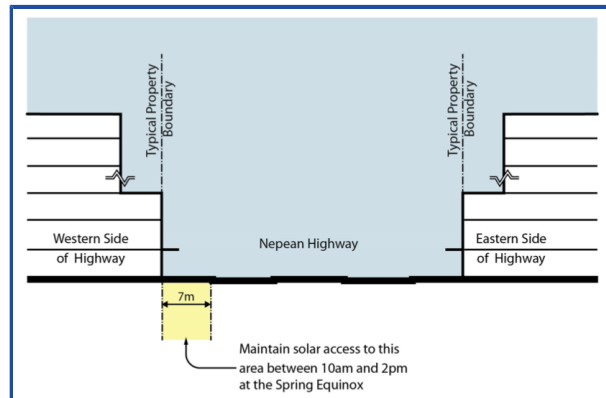


Diagram 5 City Park

FRANKSTON PLANNING SCHEME

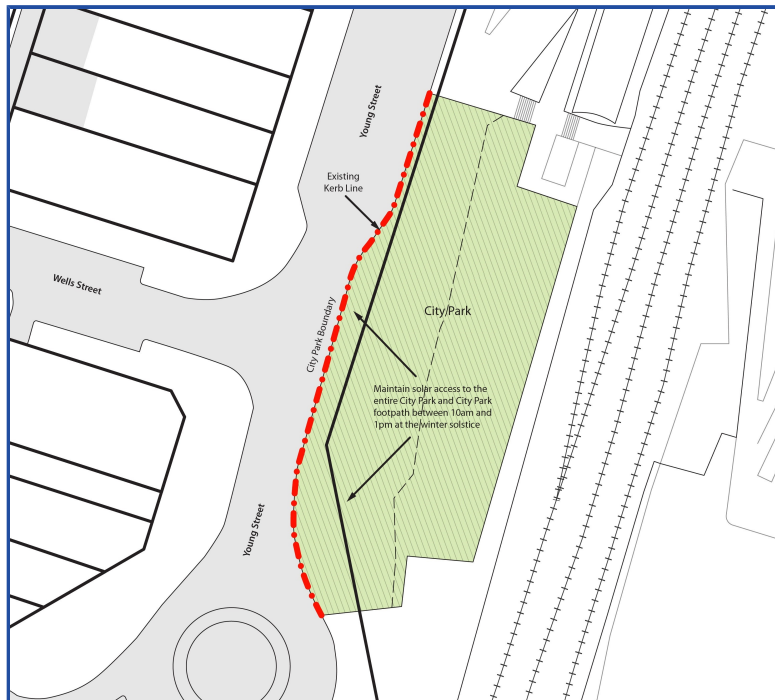


Diagram 6 Shannon and Station Street Malls

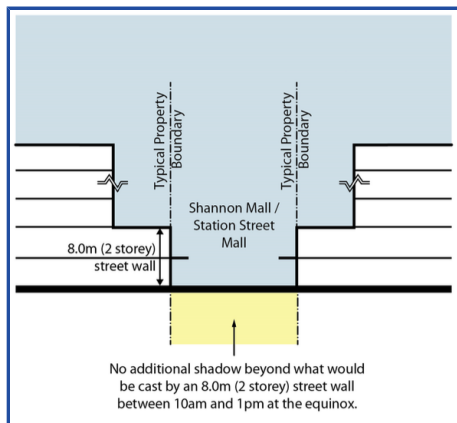
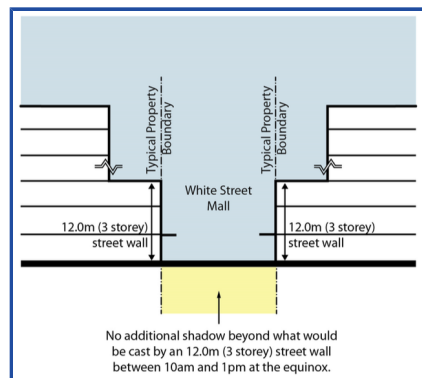


Diagram 7 White Street Mall

FRANKSTON PLANNING SCHEME



5.1-4 Precinct guidelines

Direct uses that do not provide active frontages to upper levels of buildings.

Design buildings to reinforce the pedestrian scale with fine grain building articulation regardless of tenancy size.

Address laneways with active uses at ground level where practicable and provide surveillance of laneways from upper levels of development.

Encourage the consolidation of Bayside Shopping Centre car parks and loading areas to surrounding streets to enhance the pedestrian environment.

5.1-5 Any other requirements

None specified.

FRANKSTON PLANNING SCHEME

5.2-2 Precinct objectives

To create an active, safe and attractive precinct that welcomes people to a place for business, education, retail, hospitality, community and institutional uses, offices and housing.

To provide a built form including landscaping and canopy trees within landscaped setbacks as shown on the map at clause 5.2-1 that contributes to a high amenity entry experience into the City Centre.

To contribute to the significance of adjacent Precincts 1 and 3 by delivering high quality, activated streetscapes that encourage pedestrian engagement.

5.2-3 Precinct requirements

Table 7 - Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
2A	48.0m (14 storeys)	12.0m (3 storeys).
2B	41.0m (12 storeys)	19.0m (5 storeys).
2C	22.0m (6 storeys)	19.0m (5 storeys).

Table 8 – Building setbacks

Sub-precinct	Preferred building setback	Preferred minimum upper level setbacks
2A	0.0m to all streets.	5.0m upper level setback from the street wall.
2B	Minimum 3.0 metres to all streets to provide for landscaping and the retention of existing canopy trees.	
2C		

Table 9 – Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Playne Street	Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.	Between 10am and 2pm on 22 September.
Fletcher Road	Entire eastern footpath to the kerb line.	

5.2-4 Precinct guidelines

Provide landscaping in areas identified as landscaped setbacks to Fletcher Road and Cranbourne Road.

Seek to retain existing canopy trees where practical.

Provide active frontages to open spaces and pedestrian links to create safe and vibrant places.

Encourage the provision of new public open space on 79R-83R Young Street as part of its redevelopment.

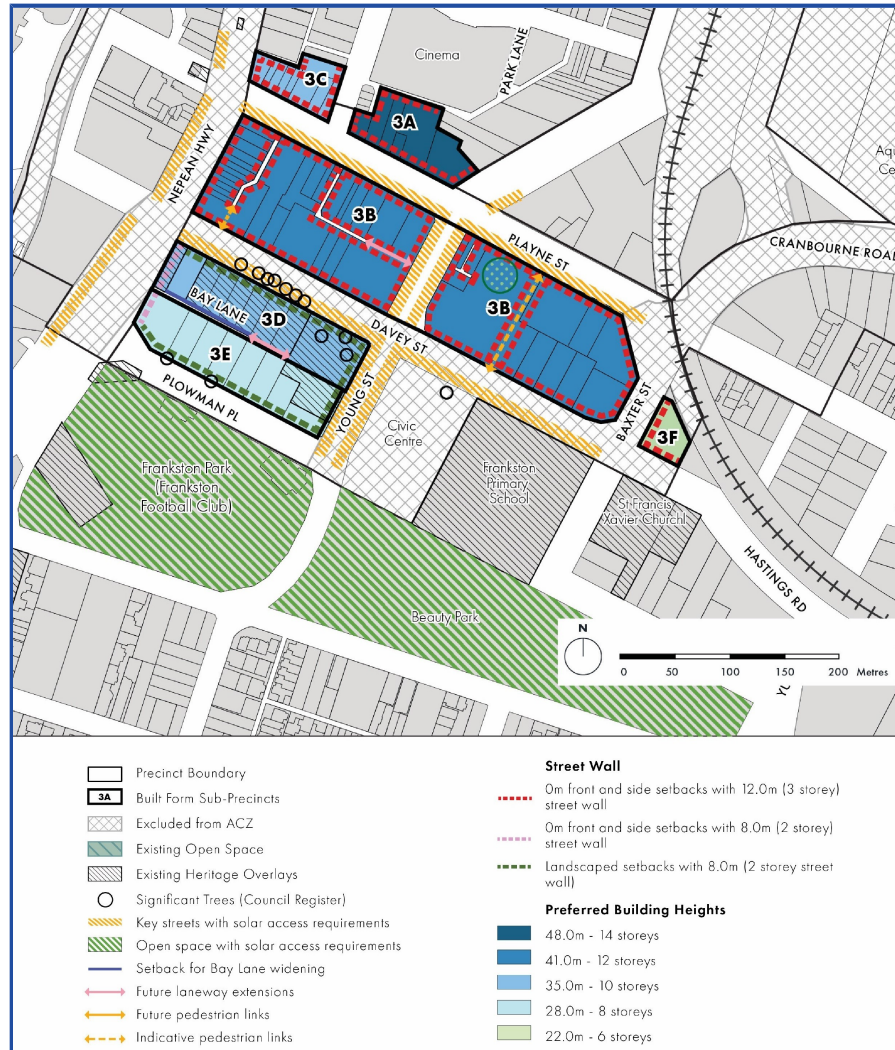
FRANKSTON PLANNING SCHEME

5.2-5 Any other requirements

None Specified.

5.3 Precinct 3 – Arts, Entertainment and Government Services

5.3-1 Precinct map



5.3-2 Precinct objectives

To activate Playne Street with retail, restaurants, cafes, arts and entertainment uses during the day and night and provide for employment, community, government services and residential uses along Davey Street and Ploverman Place.

To provide accommodation and office uses on upper levels of buildings across the precinct.

FRANKSTON PLANNING SCHEME

To ensure the impact of built form on adjoining heritage places on Davey Street is appropriate when viewed from surrounding areas.

To provide a built form including landscaping and canopy trees within landscaped setbacks as shown on the map at clause 5.3-1, that contribute to a high amenity entry experience into the Frankston MAC.

To increase connectivity within the precinct.

5.3-3 Precinct requirements

Table 10 - Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall heights
3A	48.0m (14 storeys)	12.0m (3 storeys)
3B	41.0m (12 storeys)	
3C	35.0m (10 storeys)	
3D	35.0m (10 storeys)	8.0m (2 storeys)
3E	28.0m (8 storeys)	12.0m (3 storeys)
3F	22.0m (6 storeys)	

Table 11 - Building setbacks

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
3A	0.0m to all streets.	5.0m upper level setback from the street wall.
3B		
3C		
3D	0.0m to Nepean Highway. Minimum 4.0m to Young Street. Minimum 7.0m to Davey Street to respect heritage places. Additional setbacks to protect significant trees as needed.	
3E	0.0m to Nepean Highway. Minimum 4.0m to Young Street and Plowman Place. Additional setbacks to protect significant trees as needed.	
3F	0.0m to all streets.	

Table 12 – Laneway widening and extensions

Sub-precinct	Property	Minimum width
3B	170R Young Street	3.0m to align with Arthurs Lane.
3D	6 Davey Street	2.0m from rear boundary to widen Bay Lane.
	8, 10, 12, 14 Davey Street	4.5m from rear boundary to widen Bay Lane.

FRANKSTON PLANNING SCHEME

Sub-precinct	Property	Minimum width
	16, 18 Davey Street	7.5m from rear boundary to align with Bay Lane.

Table 13 - Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Nepean Highway	Western footpath for a depth of 7.0 metres from the property boundaries on the west side of the Highway (Refer Diagram 4).	Between 10am and 2pm on 22 September.
Playne Street	Southern footpath to a depth of 5.0m from the property boundaries on the south side of the street.	
Davey Street	Entire southern footpath to the kerb line including the nature strip and Norfolk Norfolk Island Pines.	
Young Street	Entire eastern and western footpaths to the kerb line.	
Beauty Park	Beyond the northern edge of the existing shared path to the kerb line (Refer Diagram 8).	Between 10am and 2pm on 22 June.
Frankston Oval	Beyond a distance of 30m from the northern property boundary (Refer Diagram 9).	

Diagram 8 Beauty Park

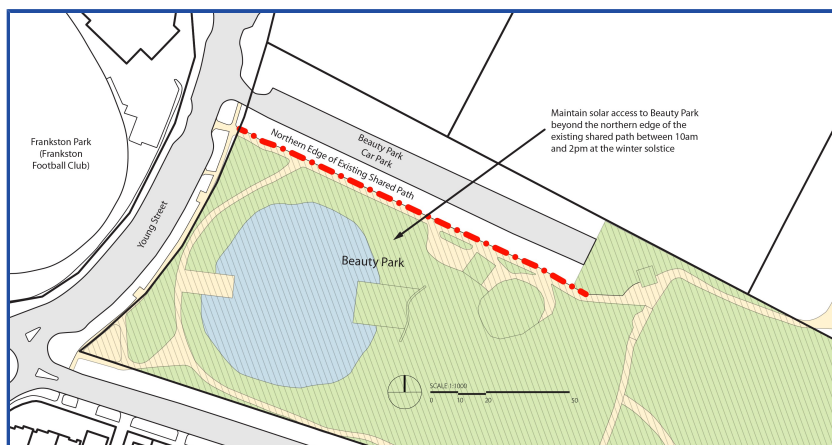
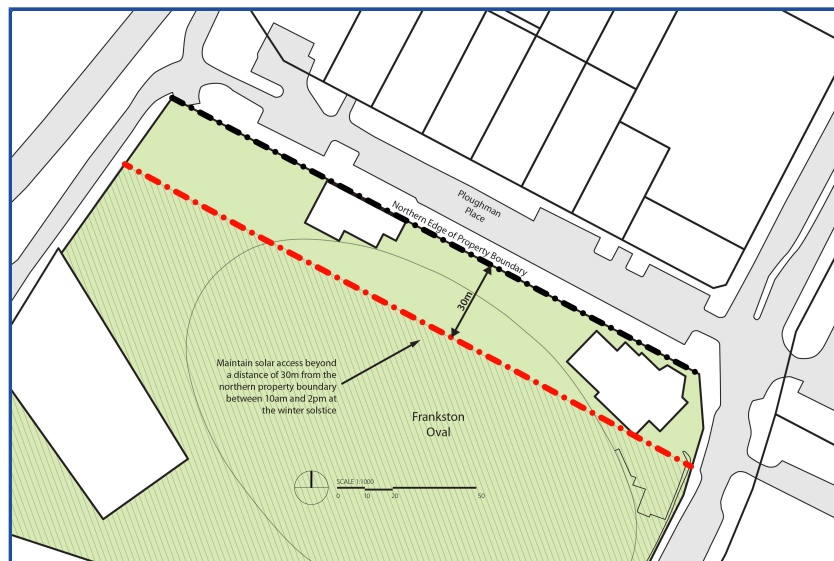


Diagram 9 Frankston Oval

FRANKSTON PLANNING SCHEME



5.3-4 Precinct guidelines

Design buildings to respond to the topography and provide accessible ground levels from each street frontage.

Provide the appearance of narrower tenancies to Playne Street, Nepean Highway and Young Street to maintain the existing fine grain nature of the streetscapes.

Provide for wider tenancies along Davey Street to suit a variety of business uses.

Address laneways with active uses at ground level where possible and incorporate high quality finishes for all services.

Provide surveillance of laneways from upper levels.

Encourage development on land adjoining the Heritage Overlay that:

- Does not dominate the adjoining heritage place.
- Uses materials and finishes with textures and colours that allow development to appear visually recessive from heritage places on adjoining sites.
- Incorporates simple architectural detailing that does not detract from the adjoining heritage places.

Incorporate canopy trees and complimentary coastal landscaping in setbacks along Davey Street.

Retain and reinforce low, visually permeable fencing to the southern side of Davey Street.

Development should be designed to integrate identified Significant Trees through appropriate setbacks, building recesses and courtyard spaces.

Ensure development is designed to protect existing trees through the provision of setbacks, tree protection measures and the like.

Where properties have frontages to both Playne Street and Davey Street, provide vehicle access from Davey Street rather than Playne Street where possible.

Where properties abut Bay Lane, provide vehicle access from the lane.

Provide landscaped front setbacks south of Davey Street to provide a built form transition into the adjoining residential areas.

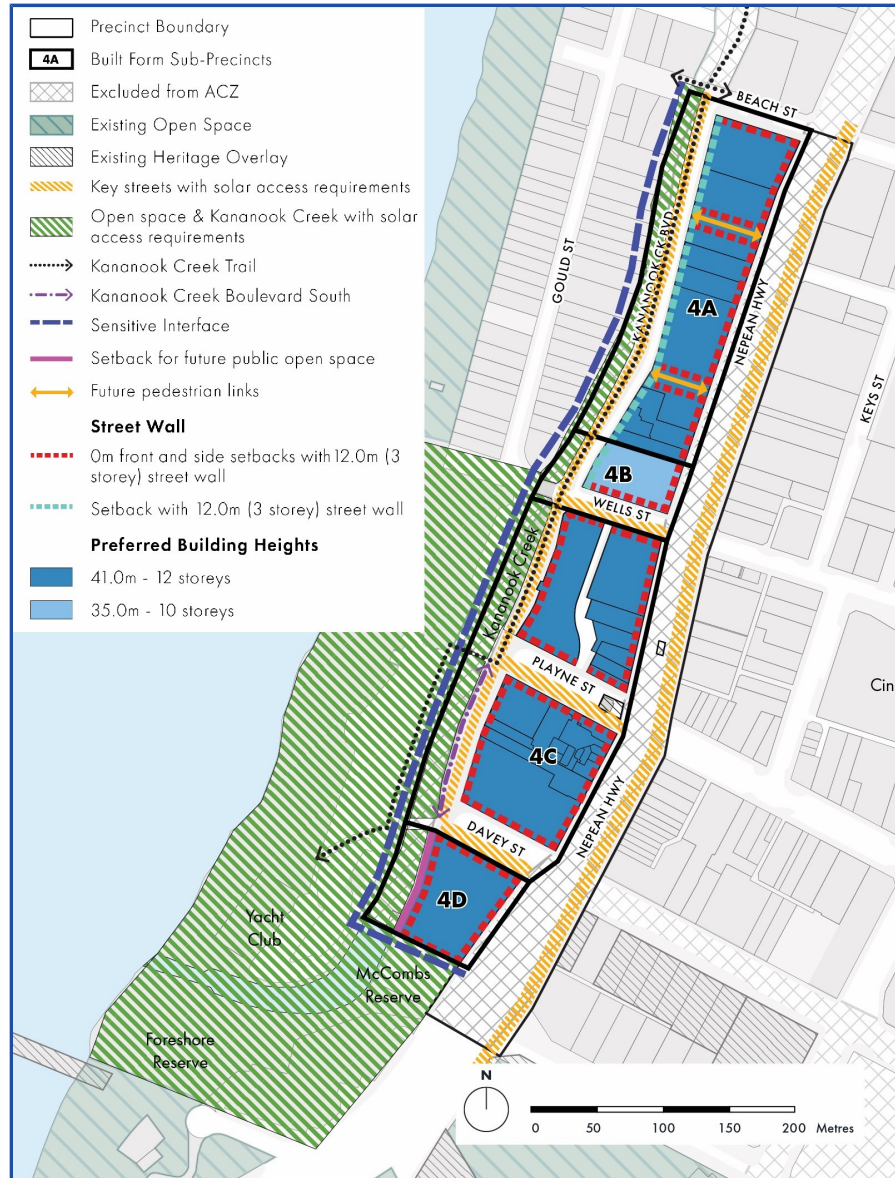
FRANKSTON PLANNING SCHEME

5.3-5 Any other requirements

None specified.

5.4 Precinct 4 – Promenade

5.4-1 Precinct map



FRANKSTON PLANNING SCHEME

5.4-2 Precinct objectives

To encourage built form along Nepean Highway that is responsive to its role as a green boulevard and supports outdoor dining and social interaction.

To activate Kananook Creek, Nepean Highway, Beach Street, Wells Street, Playne Street and Davey Street with retail, restaurants, cafes, arts and entertainment uses across the day and night and increase connectivity between the Promenade and the City Centre.

To support residential and office uses on upper levels of buildings.

To encourage built form that creates a high quality backdrop when viewed from the foreshore reserve and Kananook Creek.

To address the potential visual dominance of development when viewed from the foreshore reserve and Gould Street residences.

5.4-3 Precinct requirements

Table 14 - Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
4A	41.0m (12 storeys)	12.0m (3 storeys)
4B	35.0m (10 storeys)	
4C	41.0m (12 storeys)	
4D		

A permit cannot be granted for buildings or works that are set back less than the minimum requirements specified in Table 15.

Table 15 - Mandatory building setbacks

Sub-precinct	Mandatory minimum building setback	Mandatory minimum upper level setbacks
4A	3.0m setback of the street wall of the building to Kananook Creek Boulevard between Wells and Beach Streets to provide for outdoor dining or other active space.	None specified.
4B		
4D	9.0m to western boundary of 510 Nepean Highway for the continuation of Kananook Creek Promenade.	

Table 16 - Pedestrian links

Sub-precinct	Property	Preferred minimum width
4A	446 Nepean Highway	4.5m from northern boundary.
	438 – 444 Nepean Highway	4.5m from southern boundary.
	432 Nepean Highway	4.5m from northern boundary.
	428 Nepean Highway	4.5m from southern boundary.

FRANKSTON PLANNING SCHEME

Table 17 - Building setbacks

Sub-precinct	Preferred building setbacks	Preferred upper level setbacks
All precincts	0.0m to all streets and Kananook Creek Promenade other than Kananook Creek Boulevard between Beach and Wells Street.	10.0m from the mandatory street wall setback to Kananook Creek Promenade and Boulevard to contribute to a recessive tower form when viewed from the west. 5.0m upper level setback from the street wall to Beach Street, Wells Street, Playne Street, Davey Street and Nepean Highway.
4A		Development above 35m (10 storeys) should be set back so that it is recessive from the tower form when viewed from the opposite Gould Street properties. The assessment should be measured from a distance of 10.0m from the rear boundary of the Gould Street properties. Refer to Diagram 10 . 3.0m upper level setback from a street wall where the street wall abuts a pedestrian link.
4B		Development above 35m (10 storeys) should be set back so that it is recessive from the tower form when viewed from the opposite Gould Street properties. The assessment should be measured from a distance of 10.0m from the rear boundary of the Gould Street properties. Refer to Diagram 10 .
4C		Development above 35m (10 storeys) should be set back so it is recessive from the tower form from the Kananook Creek Trail within the foreshore reserve opposite. Refer to Diagram 11 .
4D		10.0m setback above the street wall height to McCombs Reserve interface. Development above 35m (10 storeys) should be set back so it is recessive from the tower form from the Kananook Creek Trail within the foreshore reserve opposite. Refer to Diagram 12 .

Diagram 10 Upper level setbacks from Gould Street properties Precinct 4A and 4B

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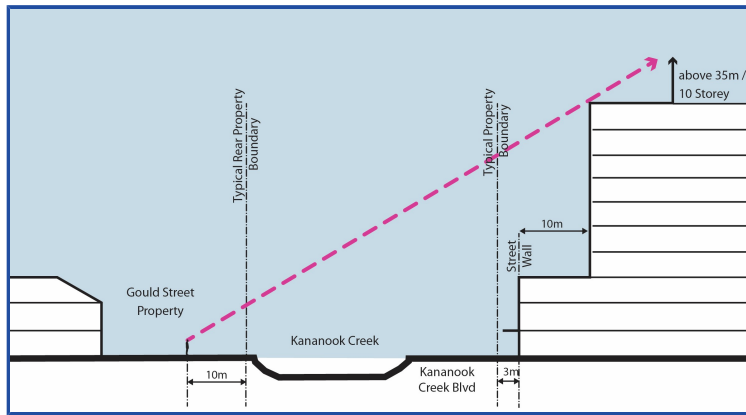


Diagram 11 Upper level setbacks from Kananook Creek trail and foreshore Precinct 4C

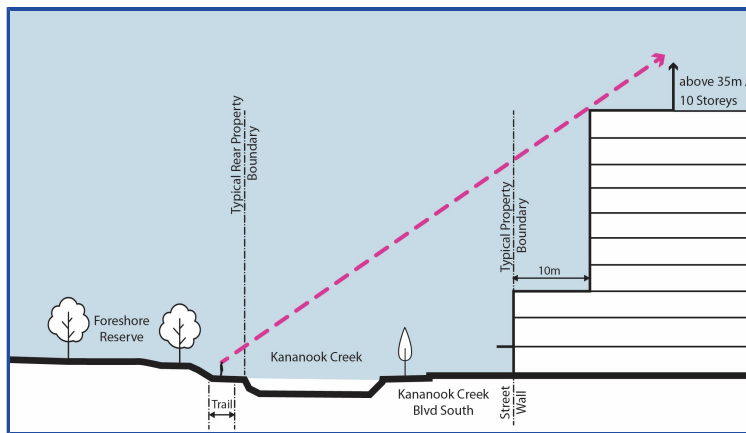
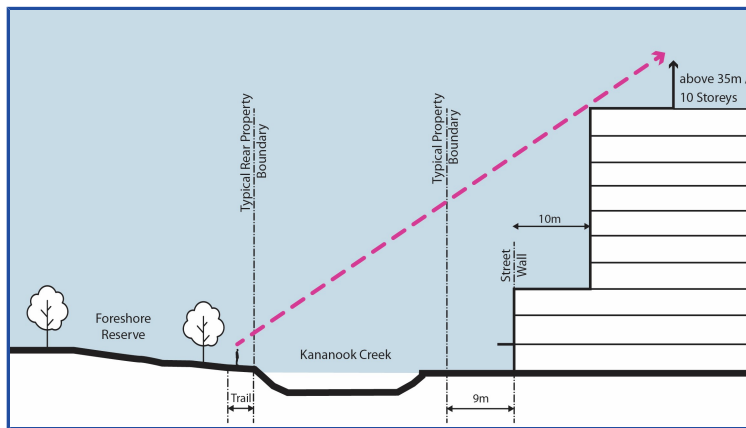


Diagram 12 Upper level setbacks from Kananook Creek trail and foreshore Precinct 4D



FRANKSTON PLANNING SCHEME

Table 18 - Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Kananook Creek	Eastern edge of Kananook Creek (Refer Diagram 13).	Between 10am and 2pm on 22 September.
Foreshore reserve	All (Refer Diagram 14).	Between 10am and 2pm on 22 June.
Kananook Creek trail	All	Between 10am and 2pm on 22 September.
Kananook Creek Boulevard South	Beyond a distance of 9.0m from the eastern boundary of the road reserve (Refer Diagram 15).	
Future Kananook Creek Promenade (510 Nepean Highway)	Beyond a distance of 7.0m from the eastern edge of the future promenade (Refer Diagram 16).	
McCombs Reserve	Beyond a distance of 20.0m from the northern property boundary of the reserve (Refer Diagram 17).	
Nepean Highway	Within 7.0m of the eastern property boundary of Nepean Highway (Refer Diagram 18).	
Wells Street	Entire southern footpath to the kerb line.	
Playne Street		
Davey Street		

Diagram 13 Kananook Creek eastern edge

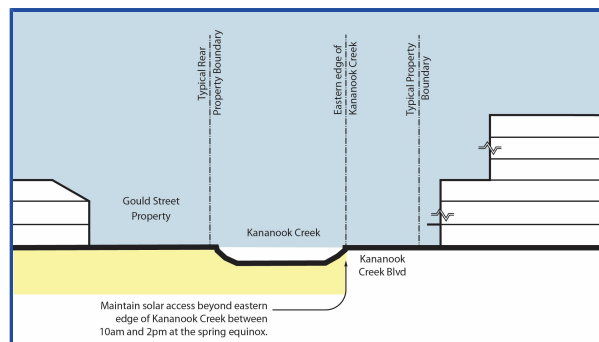
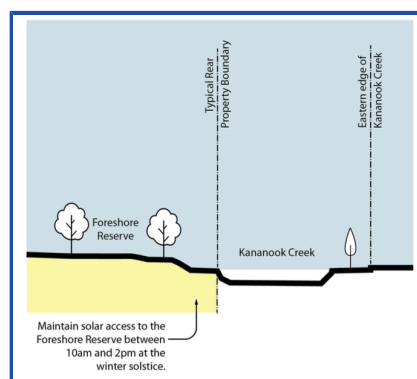


Diagram 14 Foreshore Reserve



FRANKSTON PLANNING SCHEME

Diagram 15 Kananook Creek Boulevard South

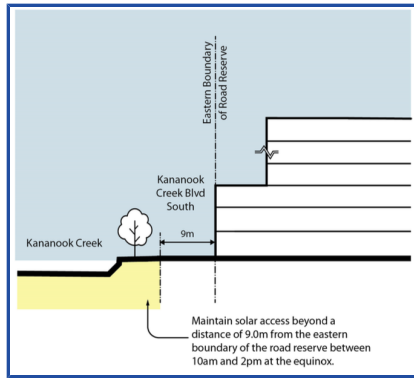


Diagram 16 Kananook Creek Promenade

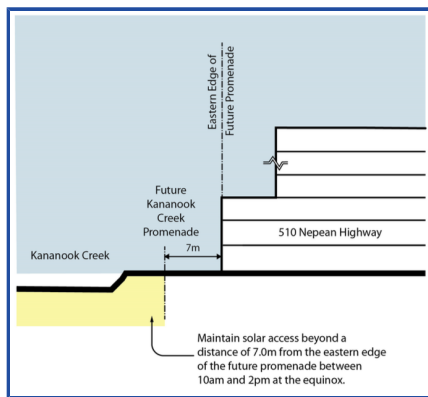


Diagram 17 McCombs Reserve

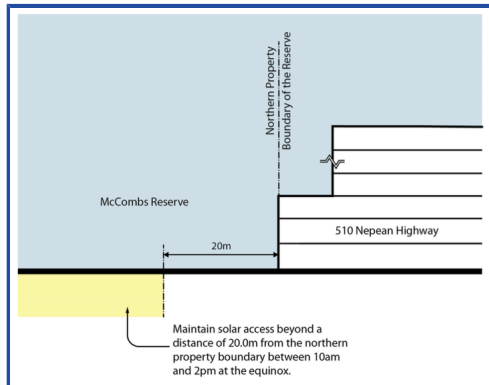
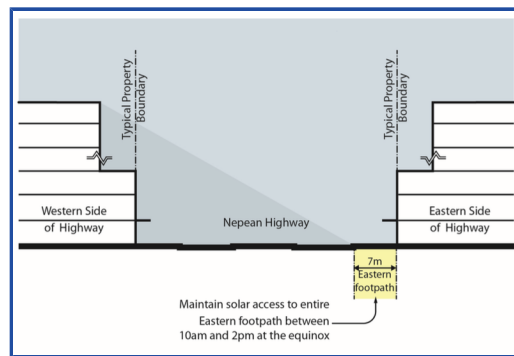


Diagram 18 Nepean Highway

FRANKSTON PLANNING SCHEME



5.4-4 Precinct guidelines

Direct residential uses and uses that do not provide an active frontage to upper levels of buildings. Development should provide a mix of narrower and wider tenancies along Nepean Highway to support a variety of land uses.

Towers should be designed with slender forms, narrower than the 45m width specified in **Section 4.4 Design of tower elements**, that maximise spaces between built form elements.

Design buildings to respond to the topography and potential for inundation so that the ground level of any setback area to Kananook Creek Boulevard is generally consistent with the existing footpath level at both the Kananook Creek and Nepean Highway frontages.

Ensure that the internal area of buildings and any basements are designed to be protected from inundation from Kananook Creek in a 1% Annual Exceedance Probability flood event and under a 2100 sea level rise scenario.

Design buildings to enhance views from Kananook Creek and Foreshore Reserve.

Architectural elements, balconies and building services should generally not intrude into ground floor setbacks in Precinct 4. Above ground level, where they do, they should not present as solid elements which give the appearance of the street wall coming forward.

Address laneways and pedestrian links with active uses at ground level and provide surveillance from upper levels of development.

Provide activated spaces along the Kananook Creek frontage and Kananook Creek Boulevard/Promenade to provide high quality space for pedestrian amenity and outdoor dining.

Encourage use or development that would result in any of the following:

- Provide active frontages at ground level.
- Optimise pedestrian amenity.
- Manage significant traffic and vehicle movements on streets and laneways.

Provide vehicle access to basement car parks from Beach Street, Wells Street, Playne Street and Davey Street rather than from Nepean Highway and Kananook Creek Boulevard where possible.

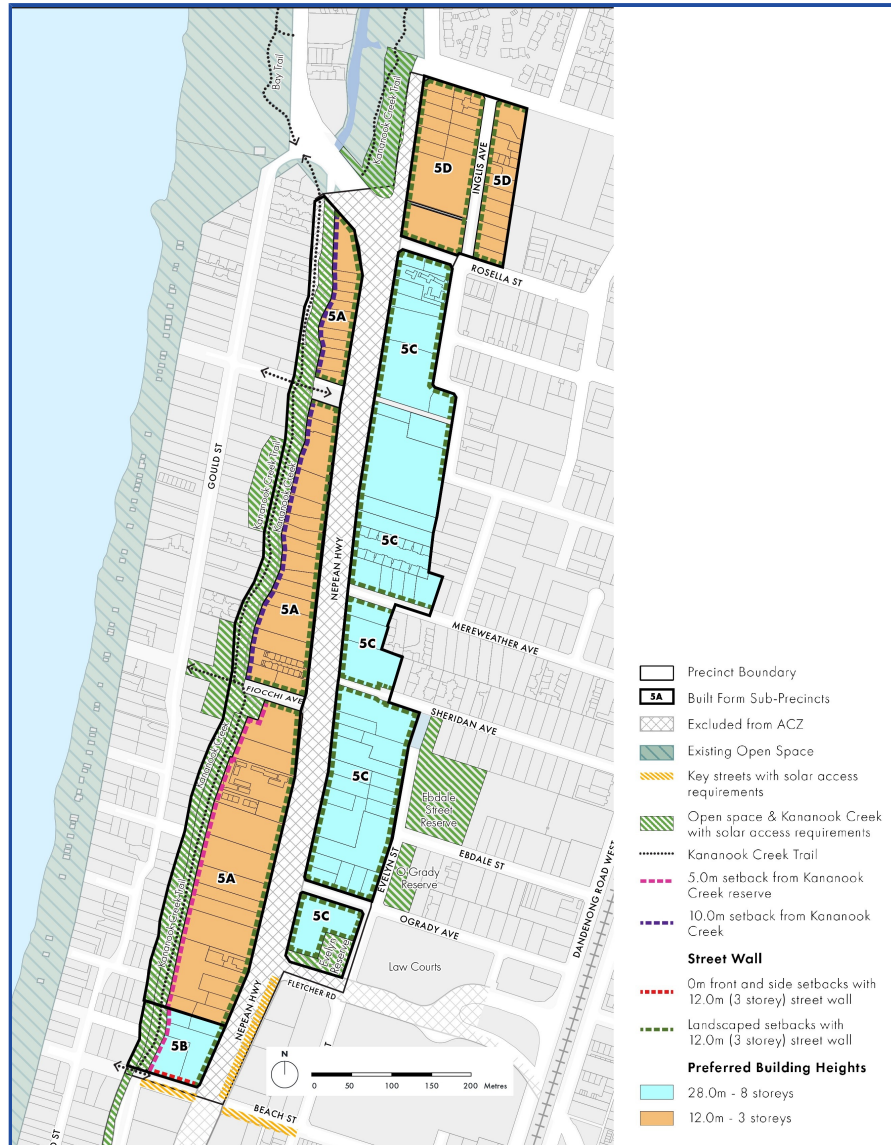
5.4-5 Any other requirements

None specified.

FRANKSTON PLANNING SCHEME

5.5 Precinct 5 – Nepean Boulevard

5.5-1 Precinct map



5.5-2 Precinct objectives

To encourage development along the Nepean Highway Boulevard that is responsive to its role as an entry to the Frankston MAC.

To provide for a range of commercial and residential uses that complement the mixed-use function of the precinct.

To support mid-scale apartment and townhouse development across the precinct.

FRANKSTON PLANNING SCHEME

To provide landscaping and canopy trees in the landscaped setbacks identified in the map at clause 5.5-1 to complement the Nepean Highway Boulevard landscape and retain existing canopy trees.

5.5-3 Precinct requirements

Table 19 - Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall height
5A	12.0m (3 storeys)	12.0m (3 storeys)
5B	28.0m (8 storeys)	
5C		
5D	12.0m (3 storeys)	

A permit cannot be granted for buildings or works that are set back less than the minimum requirements specified in Table 20 and any specified condition must also be met.

Table 20 - Mandatory building setbacks

Sub-precinct	Mandatory minimum building setbacks	Mandatory minimum upper level setbacks
5A	Where properties abut Kananook Creek Reserve: Minimum 5.0m from the rear boundary or to a surface level above the 1.7m AHD contour, whichever is greater (Refer Diagram 19). Where properties abut Kananook Creek: Minimum 10.0m from the 1.15m AHD contour (2 year Annual Recurrence Interval) or to a surface level above the 1.7m AHD contour, whichever is greater (Refer Diagram 20). in either case, above the minimum building setback and below the 2.4m AHD contour, there must be no loss of flood storage through impervious enclosure or filling of the area.	None specified
5B	Where properties abut Kananook Creek Reserve: Minimum 5.0m from the rear boundary or to a surface level above the 1.7m AHD contour, whichever is greater (Refer Diagram 21). Within the minimum building setback and below the 2.4m AHD contour, there must be no loss of flood storage through impervious enclosure or filling of the area.	None specified

Table 21 - Building setbacks

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
All precincts	Side setbacks to provide visual breaks between buildings and support landscaping opportunities.	

FRANKSTON PLANNING SCHEME

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
5A	Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets.	Where a site abuts Kananook Creek or Kananook Creek Reserve, the second and third levels should be set back 3.0m from the level below. Private open space is permitted within this setback.
5B	Minimum 5.0m to Nepean Highway. 0.0m to Beach Street.	5.0m upper-level setback from the street wall for development above 12.0m. Where a site abuts Kananook Creek Reserve, the second and third levels should be set back 3.0m from the level below. Private open space is permitted within this setback. Upper levels above the third level should be setback a further 5.0m.
5C	Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets. Minimum 4.5m from the rear boundary to provide for landscaping.	5.0m upper-level setback from the street wall for development above 12.0m.
5D	0.0m to Kitson Street. Minimum 5.0m to Nepean Highway. Minimum 3.0m to all other streets. Minimum 4.5m from the rear boundary to provide for landscaping.	None specified

Diagram 19 – Kananook Creek Reserve setbacks Precinct 5A

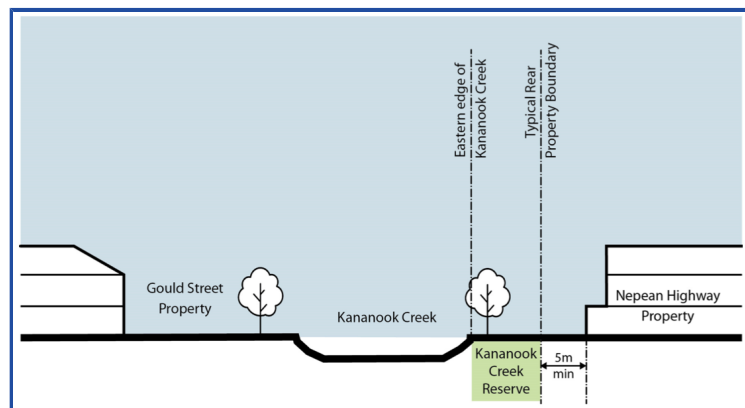


Diagram 20 – Kananook Creek setbacks Precinct 5A

FRANKSTON PLANNING SCHEME

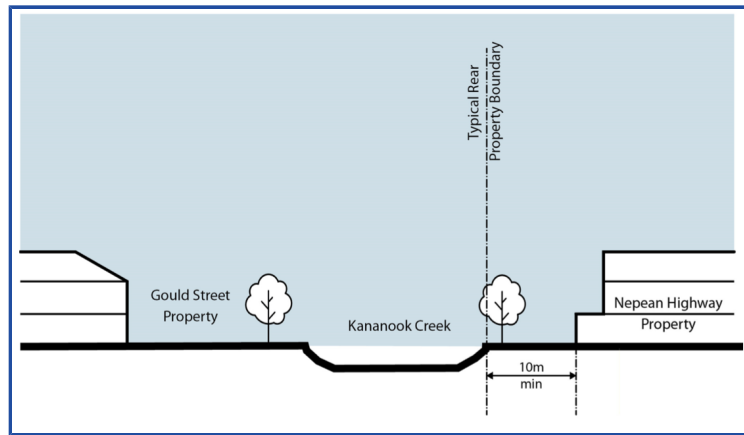


Diagram 21 – Kanook Creek Reserve setbacks Precinct 5B

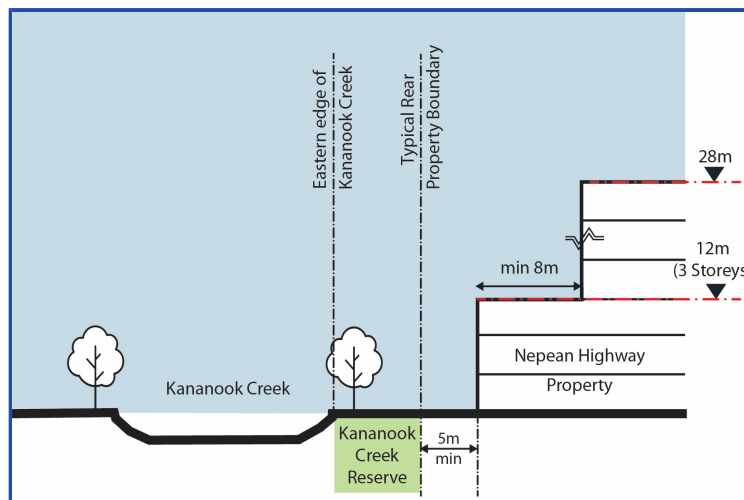
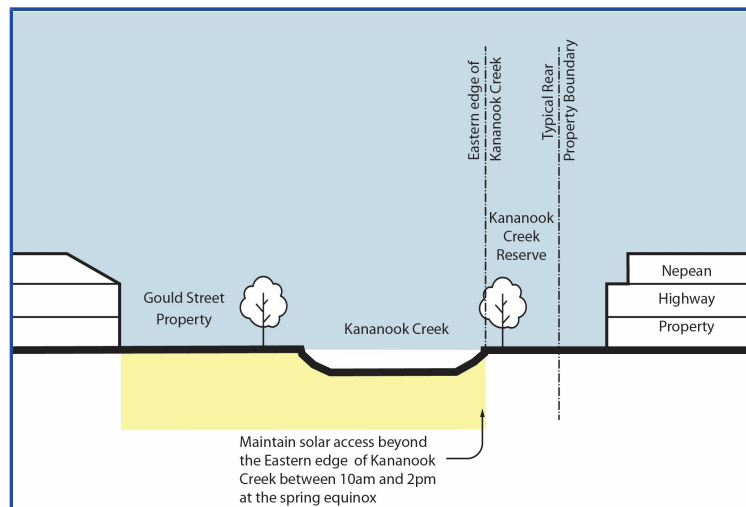


Table 22 - Solar Access

Street or public space	Location	Preferred minimum solar access to be maintained
Kananook Creek	Eastern edge (Refer Diagram 22).	Between 10am and 2pm on 22 September.
Kananook Creek trail	All.	Between 10am and 2pm on 22 September.
Nepean Highway	Eastern and western footpaths south of Fletcher Road to the kerb line.	Between 10am and 2pm on 22 September.
Ebdale Street Reserve	All.	Between 10am and 2pm on 22 June.
Beach Street	Entire southern footpath to the kerb line.	Between 10am and 2pm on 22 September
O'Grady Reserve	All.	Between 10am and 2pm on 22 June.

Diagram 22 Kananook Creek

FRANKSTON PLANNING SCHEME



5.5-4 Precinct guidelines

Encourage a mix of residential, retail and commercial uses throughout the Precinct.

Provide opportunities for engagement with the street through ground level occupation and the presence of habitable rooms and balconies at all levels. Inactive uses, such as laundries, garages and bathrooms, should be located away from street-facing facades where practicable.

Ensure that the internal area of buildings and any basements are designed to be protected from inundation from Kananook Creek in a 1% Annual Exceedance Probability flood event and under a 2100 sea level rise scenario.

Provide landscaping in landscaped setback areas as shown in the maps at clause 5.5-1 and as set out in Table 21.

On corner allotments, provide landscaped interfaces to both street frontages.

Screen basement or semi-basement parking from the street and Kananook Creek.

At grade car parking areas should be located away from street interfaces and not within front setbacks.

Incorporate landscaping in at grade parking areas to provide for visual amenity and shade.

Landscaping within front setbacks should complement the landscaping within the Nepean Boulevard road reserve.

Front fencing to Nepean Highway should provide for a level of visual permeability to allow for passive surveillance and views to vegetation.

Prioritise the retention of mature vegetation including large canopy trees.

Where there are a number of trees on the site, prioritise the retention of high value canopy trees over lower value canopy trees.

Design and site buildings at 383-389 Nepean Highway to minimise overshadowing to Evelyn Reserve.

Within Sub-Precinct 5A, site and design development to respect and respond to the sensitive residential, open space and Kananook Creek interface by:

- Maintaining and enhancing the natural landscape character of the creek corridor, in which the topography of the creek and its banks, and a naturalistic corridor of canopy trees, are the dominant features in public views of the creek and its setting.

FRANKSTON PLANNING SCHEME

- Minimising the visual intrusion of new development when viewed from paths, bridge crossings and public open space
- Ensuring that all building elevations, materials, colours and finishes complement Kananook Creek, its landscape and environmental character.
- Providing space between buildings to minimise the visual impact of buildings and allowing views to Kananook Creek and its vegetated corridor.
- Setting development back from the creek edge to protect the landscape, topography and vegetation as the dominant visual elements.
- Ensuring public views of new development are filtered through vegetation and trees.
- Using external materials, visible from Kananook Creek, that complement the landscape setting and be softened with indigenous screen planting where practical.

5.5-5 Any other requirements

None specified.

5.6 Precinct 6 – Cranbourne Road

5.6-1 Precinct map



5.6-2 Precinct objectives

To encourage built form along Cranbourne Road that is responsive to its role as an entry to the Frankston MAC.

To provide for a range of commercial and residential uses that complement the mixed-use and commercial function of the precinct.

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To encourage the use of land for offices along Cranbourne Road, increased housing densities on upper levels and the integration of health and education uses as part of mixed use development.

To provide landscaping and canopy trees within landscaped setbacks as shown in the map at clause 5.6-1 that contribute to a high amenity entry experience into the Frankston MAC.

5.6-3 Precinct requirements

Table 23 - Building and street wall height

Sub-precinct	Preferred maximum building height	Preferred maximum street wall heights
6A	22.0m (6 storeys)	12.0m (3 storeys)
6B	16.0m (4 storeys)	

Table 24 - Building setbacks

Sub-precinct	Preferred building setbacks	Preferred minimum upper level setbacks
6A	Minimum 3.0m to all streets.	5.0m upper-level setback for development above 12.0m
6B	Minimum 4.5m from the rear boundary to provide for landscaping. Side setbacks to provide for visual breaks between buildings and landscaping.	

5.6-4 Precinct guidelines

Direct residential and other uses that do not provide an active frontages to upper levels of buildings.

Design front fencing to Cranbourne Road to provide for a level of visual permeability and allow for passive surveillance and views to vegetation.

Encourage the retention of mature vegetation including large canopy trees.

Where there are a number of trees on the site, prioritise the retention of high value canopy trees over lower value canopy trees.

Provide landscaping in landscaped setback areas as shown in the map at clause 5.6-1 and as set out in Table 24.

On corner allotments, provide landscaped interfaces to both street frontages.

Buildings should maximise solar access by orientating buildings and associated open space areas to the north, where possible.

Projections such as architectural elements, balconies and building services should not intrude into side building setbacks.

Provide vehicle access from Olive Grove, Willis Street, Joy Street and James Street, Catherine Parade, Melvin Street, Allenby Street, Lawrey Street and Clarendon Street rather than from Cranbourne Road where possible.

Screen basement or semi-basement parking from the street.

Locate at grade car parking areas away from street interfaces and not within front setbacks.

Incorporate landscaping in at grade car parking areas to provide for visual amenity and shade.

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5.6-5 Any other requirements

None specified.

6.0 Application requirements

11/04/2025
C160fran

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

General

- A traffic and parking assessment report, prepared by a suitably qualified person justifying the car parking provision, layout and access arrangements for the proposal. The report must also include how the proposal will mitigate detrimental traffic impacts on the capacity and safe and efficient operation of the surrounding street network including laneways.
- A description of any current and previous land use with potential for contamination, and any known contamination investigations, or other relevant environmental assessments undertaken for the site.

Buildings and works

- An acoustic assessment of the development, prepared by a suitably qualified person, detailing how noise impacts to residential uses from within the development and from surrounding uses and development including road and rail noise will be mitigated.
- A waste management plan detailing how waste will be dealt with on-site including details relating to how:
 - Food and garden organics, recyclables, glass and residual waste will be stored and disposed of from the site.
 - Waste storage will be consolidated on-site to avoid bins for each individual tenancy particularly in large developments.
 - The development will avoid detrimental impacts to surrounding properties through the collection of waste receptacles.
 - Waste management for the development is consistent with *Waste Management Guidelines for Multi-Unit Developments*(SALT, 2017).
- A 3D digital model of the development and its surrounds that is compatible with Council's software.
- In Precincts 2, 3, 4, 5 and 6 an arboriculture assessment of all vegetation on the site and directly adjoining properties (within 5.0m of the common boundaries) including recommendations to protect vegetation to be retained for both the on-site and adjoining properties, from any detrimental effects of the development and its construction.
- For buildings of 5 or more stories, a wind report by a suitably qualified person detailing how the development mitigates wind impacts from the development and the environment to protect the safety and comfort of building occupants and people in the public realm.
- For development in Precincts 4 and 5, a report prepared by a suitably qualified person on the potential for acid sulfate soils and any management recommendations having regard to:
 - The condition of the soil on the site and the directly abutting area.
 - How the development will mitigate detrimental impacts to any acid sulfate soils.

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- How the development will protect itself from any adverse effects from the soils and ground conditions.
- How the development accords with the *Victorian Coastal Acid Sulfate Soils Strategy 2009*.
- For buildings of 4 or more storeys, a reflected glare assessment including:
 - The applied method used for the reflected glare assessment.
 - Any assessment assumptions.
 - Identification of potential observers receiving glare.
 - Review of materials, finishes and reflectors.
 - Assessment of the proposed development's disability and discomfort glare.
 - Mitigation measures for reflected glare.

7.0

11/04/2025
C160fran

Notice and review

None specified.

8.0

11/04/2025
C160fran

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme to use land or construct a building or construct or carry out works which must be considered, as appropriate, by the responsible authority:

- How the proposed development's design, architectural quality, scale, height, materials, mass and visual bulk responds to the requirements and guidelines of this schedule and to the surrounding built form.
- How the development respects the visual and environmental qualities of the Foreshore and Kananook Creek and environs.
- The effect of the development on the amenity of nearby properties and the public realm, particularly in regard to visual impacts, overlooking and overshadowing.
- How the proposal contributes to or improves the pedestrian environment and other areas of the public realm.
- How potential on and off-site amenity impacts have been mitigated through measures including the design, location and siting of the proposed development.
- Whether the proposal provides housing for diversity of housing outcomes.

9.0

11/04/2025
C160fran

Signs

None specified.

10.0

11/04/2025
C160fran

Other provisions of the scheme

None specified.

11.0

11/04/2025
C160fran

Reference documents

Frankston Metropolitan Activity Centre Structure Plan (Tract Consultants, September 2024).

FRANKSTON PLANNING SCHEME

23/05/2019
C133fran

SCHEDULE 4 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO4**.

LANGWARRIN RURAL RESIDENTIAL AREA

1.0

19/01/2006
VC37

Design objectives

To maintain and enhance the well vegetated, rural residential character of land around the fringe of Langwarrin in recognition of its contribution to housing diversity and its landscape quality.

To ensure that development densities are consistent with the landscape character of the area.

To ensure that new development responds to established and preferred landscape character and built form in terms of building height, scale and siting.

To protect water quality, particularly in the Western Port catchment.

2.0

Buildings and works

13/10/2016
G442 Proposed C167fran

A permit is not required to construct a building or carry out works for:

- Navigational aids.
- A radio mast.
- A television antenna.
- A television mast associated with a building.
- The development of public land by or on behalf of a public land manager.
- A single dwelling, dependent persons unit or ancillary outbuildings, provided the following are met:
 - Buildings are setback at least 20 metres from any road frontage and 10 metres from any other boundary.
 - Any building does not exceed 7 metres in height.
 - The total floor area of all outbuildings does not exceed 100 square metres.
 - There is only one dwelling on the lot or one dwelling and a dependent person's unit. This cannot be varied with a permit.
 - The external finishes of all buildings are of muted natural colours and tones that are consistent with the surrounding landscape.
- Earthworks which involve the receipt, importation, stockpiling or placement of less than 100 cubic metres of fill.
- Earthworks which do not change the rate of flow or the discharge point of water across a property boundary.
- Earthworks which do not increase the discharge of saline groundwater.

Any buildings or works must not exceed 9 metres in height unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the height must not exceed 10 metres. This cannot be varied with a permit.

3.0

19/01/2006
VC37

Subdivision

Any lot in a subdivision must be at least 1 hectare and all lots must be large enough to cater for year round on-site waste disposal.

Any subdivision proposal must be supported by information that demonstrates that year round disposal of effluent can be achieved within the lot boundaries.

FRANKSTON PLANNING SCHEME

Smaller lots may be created if required for public use by a government department, public authority or Council.

These requirements cannot be varied with a permit.

4.0

23/05/2019
C133fran

Signs

None specified.

5.0

23/05/2019
C133fran

Application requirements

None specified.

6.0

23/05/2019
C133fran

Decision guidelines

Before deciding on an application the responsible authority must consider:

- The appropriateness of the subdivision, buildings or works having regard to the Preferred Neighbourhood Character statement for the area, and land capability, including land form, slope, drainage and the presence of remnant vegetation.
- The impact of the subdivision, building or works on the landscape quality of the area.
- The extent to which the proposed development meets the objectives and design responses contained in the relevant Neighbourhood Character Study Character Statement precinct brochure for the area.

Before deciding on an application for development that exceeds 7 metres in height, the responsible authority must consider whether the additional height is justified due to the need for a particular roof form or architectural feature that assists in achieving the preferred neighbourhood character of the area, or the objectives and design responses contained in the relevant Neighbourhood Character Study Character Statement precinct brochure for the area.

FRANKSTON PLANNING SCHEME

23/05/2019
C133fran

SCHEDULE 5 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

Shown on the planning scheme map as SLO5.

FORMER G.K. TUCKER BROTHERHOOD OF ST. LAURENCE SETTLEMENT

1.0 Statement of nature and key elements of landscape

30/05/2024
G452fran Proposed C167fran

The site commonly known as the G.K. Tucker Brotherhood of St. Laurence Settlement contains a mixture of remnant indigenous vegetation and mature exotic trees and shrubs which make a significant contribution to the landscape quality and character of this area.

Areas of remnant indigenous vegetation have been identified on the site, this vegetation has environmental significance including providing habitat for indigenous fauna.

This land was established as low cost housing in the early 20th century by Gerard Kennedy Tucker founder of the Brotherhood of St. Laurence. Trees that were planted as part of this development remain on the site today. These planted trees provide links to the former use of the site and as such are of historical landscape significance.

2.0 Landscape character objectives to be achieved

30/05/2024
C152fran

- To protect vegetation in the area with intrinsic landscape and historical or environmental values.
- To conserve and enhance remnant indigenous vegetation in the area.
- To ensure that development responds to and maintains the landscape quality of the GK Tucker Brotherhood of St. Laurence Settlement.

3.0 Permit requirement

19/10/2017
C100

A permit is required:

- To remove, destroy or lop vegetation that is listed in Table 1 to this schedule.
- For buildings and works within the tree protection zone of any tree that is listed in Table 1 to this schedule.

A permit is not required:

- For buildings and works outside the tree protection zone of any tree listed in Table 1 to this schedule.
- To prune or lop limbs less than 75mm in diameter and not more than a total of 10% of the canopy of any significant tree listed in the table to this schedule for:
 - maintaining access to existing roads, driveways and footpaths;
 - clearing within two metres of an existing permanent structure;
 - maintaining of an existing specialised pruning method such as hedging, espalier or topiary;
 - reducing overhang to neighbouring properties.
 - To remove dead and broken limbs.

All pruning works must be carried out in accordance with Australian Standard AS4373-2009 Pruning of Amenity Trees.

Before deciding on an application to remove, destroy, prune or lop any specified tree or area of vegetation, the responsible authority may require the applicant to provide a report prepared by a qualified arborist, ecologist, or botanist on the reason and need for the proposed work, options for alternative treatments and any remedial or restorative action proposed.

FRANKSTON PLANNING SCHEME

4.0

23/05/2019
C133fran

Application requirements

None specified.

5.0

23/05/2019
C133fran

Decision guidelines

Before deciding on an application to construct a building; construct or carry out works; or remove, destroy or lop any vegetation the responsible authority must consider:

- Whether the proposal has minimised any negative impacts on the valued landscape of the area.
- The reasons for removing any vegetation and the practicality of any alternative options which do not require removal of native vegetation in accordance with the Native Vegetation Framework.

Table 1 to Schedule 5

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Road reserve/ lot 42/ 43	2	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Lot 1	23	<i>Eucalyptus radiata subsp. radiata</i>	5.57	Zone Map 2
Lot 3/Lot 4	29	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.37	Zone Map 2
Lot 23/Road Reserve	36	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.27	Zone Map 2
Lot 27	68	<i>Corymbia maculata</i>	6.00	Zone Map 2
Lot 40/Lot 41	80	<i>Corymbia maculata</i>	6.00	Zone Map 2
Lot 40/Lot 41	82	<i>Angophora costata</i>	7.20	Zone Map 2
Lot 41	83	<i>Angophora costata</i>	6.00	Zone Map 2
Lot 39/Lot 40/Lot 41	85	<i>Angophora costata</i>	6.00	Zone Map 2
Reserve No. 2	121	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	122	<i>Eucalyptus camaldulensis</i>	7.02	Zone Map 2
Reserve No. 2	123	<i>Eucalyptus camaldulensis</i>	7.21	Zone Map 2
Reserve No. 2	124	<i>Eucalyptus camaldulensis</i>	1.44	Zone Map 2
Reserve No. 2	125	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	126	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 2	127	<i>Eucalyptus camaldulensis</i>	1.44	Zone Map 2
Reserve No. 2	128	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 2	129	<i>Eucalyptus camaldulensis</i>	5.40	Zone Map 2
Reserve No. 2	130	<i>Eucalyptus camaldulensis</i>	2.16	Zone Map 2
Reserve No. 2	131	<i>Eucalyptus camaldulensis</i>	4.80	Zone Map 2
Reserve No. 2	132	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 2	133	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	134	<i>Eucalyptus ovata</i>	4.80	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 2	135	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.04	Zone Map 2
Reserve No. 2	136	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 2	137	<i>Eucalyptus camaldulensis</i>	9.35	Zone Map 2
Reserve No. 2	138	<i>Eucalyptus camaldulensis</i>	2.40	Zone Map 2
Reserve No. 2	139	<i>Eucalyptus camaldulensis</i>	6.00	Zone Map 2
Reserve No. 2	140	<i>Eucalyptus camaldulensis</i>	7.02	Zone Map 2
Reserve No. 2	141	<i>Eucalyptus camaldulensis</i>	9.54	Zone Map 2
Reserve No. 2	142	<i>Eucalyptus camaldulensis</i>	4.80	Zone Map 2
Reserve No. 2	143	<i>Eucalyptus camaldulensis</i>	6.00	Zone Map 2
Reserve No. 2	144	<i>Eucalyptus camaldulensis</i>	8.78	Zone Map 2
Reserve No. 2	145	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	146	<i>Eucalyptus camaldulensis</i>	5.40	Zone Map 2
Reserve No. 2	147	<i>Eucalyptus camaldulensis</i>	7.56	Zone Map 2
Reserve No. 2	148	<i>Eucalyptus camaldulensis</i>	3.00	Zone Map 2
Reserve No. 2	149	<i>Eucalyptus</i>	4.80	Zone Map 2
Reserve No. 2	150	<i>Eucalyptus camaldulensis</i>	2.16	Zone Map 2
Reserve No. 2	152	<i>Eucalyptus camaldulensis</i>	5.34	Zone Map 2
Reserve No. 2	153	<i>Eucalyptus camaldulensis</i>	7.82	Zone Map 2
Reserve No. 2	154	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.34	Zone Map 2
Reserve No. 2	155	<i>Eucalyptus camaldulensis</i>	2.64	Zone Map 2
Lot 52/ Reserve No. 3	161	<i>Eucalyptus camaldulensis</i>	3.60	Zone Map 2
Reserve No. 3	163	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Lot 55/Lot 56	167	<i>Eucalyptus camaldulensis</i>	4.20	Zone Map 2
Reserve No. 3	169	<i>Eucalyptus camaldulensis</i>	0.84	Zone Map 2
Road Reserve	188	<i>Corymbia maculata</i>	6.00	Zone Map 2
Reserve No. 3	190	<i>Eucalyptus ovata</i>	6.68	Zone Map 2
Reserve No. 3	191	<i>Eucalyptus ovata</i>	1.80	Zone Map 2
Reserve No.3/ Lot 134	192	<i>Eucalyptus ovata</i>	8.28	Zone Map 2
Reserve No. 3	193	<i>Eucalyptus ovata</i>	8.98	Zone Map 2
Reserve No. 3	196	<i>Eucalyptus ovata</i>	7.82	Zone Map 2
Reserve No. 3	198	<i>Acmena smithii</i>	3.60	Zone Map 2
Reserve No. 3	200	<i>Eucalyptus</i>	2.64	Zone Map 2
Lot 130	202	<i>Liquidamber styraciflua</i>	1.20	Zone Map 2
Reserve No. 3	203	<i>Callistemon</i>	1.80	Zone Map 2

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Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 3	205	<i>Sequoiadendron giganteum</i>	3.60	Zone Map 2
Lot 130/Lot 131	206	<i>Photinia glabra</i> 'Rubens'	2.76	Zone Map 2
Road Reserve/ Reserve No. 3	219	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 3	220	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	221	<i>Eucalyptus ovata</i>	1.32	Zone Map 2
Reserve No. 3	222	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	223	<i>Eucalyptus ovata</i>	0.84	Zone Map 2
Reserve No. 3	224	<i>Eucalyptus ovata</i>	0.96	Zone Map 2
Reserve No. 4	225	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 4	227	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	7.37	Zone Map 2
Reserve No. 4	228	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	229	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	230	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	5.40	Zone Map 2
Reserve No. 3	231	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 3	232	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 3	233	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	3.00	Zone Map 2
Reserve No. 3/ Road Reserve	234	<i>Allocasuarina cunninghamiana</i>	6.00	Zone Map 2
Reserve No. 3	235	<i>Eucalyptus ovata</i>	1.44	Zone Map 2
Reserve No. 3	236	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 4	237	<i>Eucalyptus ovata</i>	3.24	Zone Map 2
Reserve No. 4/ Road Reserve	243	<i>Acacia melanoxylon</i>	1.80	Zone Map 2
Reserve No. 4/ Road Reserve	244	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	245	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Reserve No. 4	247	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	248	<i>Eucalyptus ovata</i>	3.84	Zone Map 2
Reserve No. 4	249	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	250	<i>Eucalyptus ovata</i>	3.00	Zone Map 2
Reserve No. 4	251	<i>Eucalyptus ovata</i>	2.40	Zone Map 2
Reserve No. 4	252	<i>Eucalyptus viminalis</i> subsp. <i>pryoriana</i>	6.49	Zone Map 2

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Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4	253	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	254	<i>Eucalyptus ovata</i>	5.40	Zone Map 2
Reserve No. 4	255	<i>Eucalyptus ovata</i>	3.60	Zone Map 2
Reserve No. 4	256	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4	258	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	259	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	260	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	261	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	263	<i>Exocarpos cupressiformis</i>	0.72	Zone Map 2
Reserve No. 4	264	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.60	Zone Map 2
Reserve No. 3	265	<i>Eucalyptus ovata Stump</i>	1.20	Zone Map 2
Reserve No. 4	266	<i>Eucalyptus viminalis subsp. Pryoriana</i>	2.64	Zone Map 2
Reserve No. 4	267	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4	268	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4	269	<i>Eucalyptus viminalis subsp. pryoriana</i>	9.60	Zone Map 2
Reserve No. 4	270	<i>Eucalyptus viminalis subsp. pryoriana</i>	8.63	Zone Map 2
Reserve No. 4	271	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.79	Zone Map 2
Reserve No. 4	272	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.95	Zone Map 2
Reserve No. 4	274	<i>Eucalyptus ovata</i>	1.20	Zone Map 2
Reserve No. 4	275	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	276	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	277	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.02	Zone Map 2
Reserve No. 4	279	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	280	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4	283	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.91	Zone Map 2
Reserve No. 4	284	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.53	Zone Map 2
Reserve No. 4	285	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4	286	<i>Eucalyptus viminalis subsp. pryoriana</i>	0.96	Zone Map 2
Reserve No. 4	288	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.79	Zone Map 2
Reserve No. 3	290	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.40	Zone Map 2
Reserve No. 3/ Lot A	291	<i>Eucalyptus camuldulensis</i>	3.60	Zone Map 2
Reserve No. 3/ Lot A	292	<i>Eucalyptus lehmannii</i>	9.60	Zone Map 2
Reserve No. 3	293	<i>Eucalyptus</i>	0.72	Zone Map 2
Lot A	294	<i>Eucalyptus camuldulensis</i>	2.64	Zone Map 2
Lot A	295	<i>Allocasuarina cunninghamiana</i>	0.60	Zone Map 2
Lot A	296	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Lot A	297	<i>Eucalyptus cladocalyx</i>	2.64	Zone Map 2
Lot A/ Road Reserve	298	<i>Eucalyptus lehmannii</i>	2.40	Zone Map 2
Road Reserve/Lot A/Lot26	299	<i>Eucalyptus lehmannii</i>	9.60	Zone Map 2
Road Reserve/Lot A/Lot26	300	<i>Eucalyptus lehmannii</i>	0.72	Zone Map 2
Road Reserve/Lot A	301	<i>Melaleuca armillaris</i>	10.80	Zone Map 2
Road Reserve	302	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.64	Zone Map 2
Road Reserve/Lot A	303	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Lot A/Road Reserve	304	<i>Eucalyptus lehmannii</i>	1.32	Zone Map 2
Road Reserve/Lot A	305	<i>Eucalyptus camuldulensis</i>	3.60	Zone Map 2
Lot A/Road Reserve	306	<i>Eucalyptus ovata</i>	4.80	Zone Map 2
Road Reserve	307	<i>Eucalyptus viminalis subsp. pryoriana</i>	2.64	Zone Map 2
Road Reserve	308	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	
Lot A	309	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.63	Zone Map 2
Reserve No. 4/Road	310	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 4/Road	312	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.60	Zone Map 2
Reserve No. 4/Road	313	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.2	Zone Map 2
Reserve No. 4/Road	315	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	316	<i>Allocasuarina cunninghamiana</i>	0.96	Zone Map 2
Reserve No.4	317	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.00	Zone Map 2
Reserve No. 4	318	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.80	Zone Map 2
Reserve No. 4/Road	319	<i>Eucalyptus viminalis subsp. pryoriana</i>	4.20	Zone Map 2
Reserve No. 4/Road	321	<i>Eucalyptus viminalis subsp. pryoriana</i>	7.14	Zone Map 2
Reserve No. 4/Road	323	<i>Eucalyptus viminalis subsp. pryoriana</i>	6.56	Zone Map 2
Reserve No. 4	325	<i>Eucalyptus viminalis subsp. pryoriana</i>	3.00	Zone Map 2
Reserve No. 4	328	<i>Eucalyptus viminalis subsp. pryoriana</i>	5.40	Zone Map 2
Lot 61/Lot 62	338	<i>Liquidambar styraciflua</i>	2.64	Zone Map 2
Reserve No. 4	345	<i>Eucalyptus ovata</i>	4.20	Zone Map 2
Lot 110/Lot 111	347	<i>Banksia marginata</i>	1.2	Zone Map 2
Lot 110	349	<i>Banksia marginata</i>	1.20	Zone Map 2
Lot 109	350	<i>Banksia marginata</i>	1.20	Zone Map 2
Road Reserve	351	<i>Banksia marginata</i>	0.96	Zone Map 2
Road Reserve	352	<i>Banksia marginata</i>	1.44	Zone Map 2
Lot 117/Lot 118	359	<i>Corymbia citriodora</i>	3.00	Zone Map 2
Lot 123/Lot124	379	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 123	380	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 123	381	<i>Larix deciduas</i>	4.20	Zone Map 2
Lot 124	384	<i>Eucalyptus camuldulensis</i>	1.44	Zone Map 2
Lot 176/Reserve No. 5	395	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Reserve No. 5	396	<i>Banksia marginata</i>	4.20	Zone Map 2
Reserve No. 5	398	<i>Acmena smithii</i>	3.00	Zone Map 2
Reserve No. 5	402	<i>Cedrus libani</i>	9.60	Zone Map 2
Reserve No. 5	405	<i>Acmena smithii</i>	3.60	Zone Map 2
Reserve No. 5	408	<i>Angophora costata</i>	6.00	Zone Map 2
Reserve No. 5	412	<i>Agonis flexuosa</i>	7.20	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 5	413	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Reserve No. 5	415	<i>Agonis flexuosa</i>	12.00	Zone Map 2
Reserve No. 5/Road Reserve	418	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Reserve No. 5/Road Reserve	421	<i>Cedrus libani</i>	8.40	Zone Map 2
Lot 141/ Lot 142	422	<i>Corymbia citriodora</i>	2.76	Zone Map 2
Lot 141/ Lot 142	423	<i>Corymbia ficifolia</i>	14.40	Zone Map 2
Lot 139/Lot 140	435	<i>Grevillea robusta</i>	6.00	Zone Map 2
Lot 139/Lot 140/Road Reserve	436	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 140	437	<i>Photinia glabra</i> 'Rubens'	0.72	Zone Map 2
Reserve No. 5/Road Reserve	438	<i>Agonis flecuosa</i>	8.40	Zone Map 2
Reserve No. 5/Road Reserve	439	<i>Acmena smithii</i>	2.76	Zone Map 2
Lot 132/Lot 133	443	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Lot 132/Lot 133	444	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Lot 132/Lot 133	446	<i>Acmena smithii</i>	4.20	Zone Map 2
Lot 133	447	<i>Jacaranda mimosifolia</i>	3.00	Zone Map 2
Lot 133/Road Reserve	449	<i>Eriobotrya japonica</i>	1.20	Zone Map 2
Lot 136/Lot 137	455	<i>Leptospermum laevigatum</i>	2.40	Zone Map 2
Lot 136	456	<i>Arbutus unedo</i>	3.00	Zone Map 2
Lot 135/Lot 136	457	<i>Acmena smithii</i>	3.60	Zone Map 2
Lot 135/Lot 136	458	<i>Acmena smithii</i>	2.76	Zone Map 2
Lot 129/Lot 130	461	<i>Photinia glabra</i> 'Rubens'	0.84	Zone Map 2
Lot 126	463	<i>Ginkgo biloba</i>	1.56	Zone Map 2
Lot 125/ Lot 133	467	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 125/ Lot 133	468	<i>Acmena smithii</i>	3.00	Zone Map 2
Reserve No. 5	479	<i>Araucaria heterophylla</i>	4.80	Zone Map 2
Reserve No. 5	480	<i>Brachychiton acerifolia</i>	3.00	Zone Map 2
Reserve No. 5	486	<i>Magnolia grandiflora</i>	6.00	Zone Map 2
Reserve No. 5/ Lot 177	488	<i>Araucaria heterophylla</i>	7.20	Zone Map 2
Reserve No. 5	489	<i>Brachychiton acerifolia</i>	4.80	Zone Map 2
Reserve No. 5	491	<i>Araucaria heterophylla</i>	6.00	Zone Map 2
Reserve No. 5	492	<i>Lophostemon conferta</i>	4.80	Zone Map 2
Reserve No. 5	493	<i>Quercus robur</i>	10.80	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Reserve No. 5	494	<i>Lophostemon conferta</i>	5.40	Zone Map 2
Lot 97/Lot 98	499	<i>Corymbia ficifolia</i>	7.20	Zone Map 2
Road Reserve Lot 101	507	<i>Acmena smithii</i>	2.40	Zone Map 2
Lot 100	510	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 100	511	<i>Grevillea robusta</i>	4.80	Zone Map 2
Lot 104/Road Reserve	515	<i>Jacaranda mimosifolia</i>	4.80	Zone Map 2
Lot 106	524	<i>Quercus robur</i>	3.60	Zone Map 2
Lot 106	525	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Lot 67/Lot 68	531	<i>Corymbia ficifolia</i>	5.00	Zone Map 2
Lot 65/Lot 66	535	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Road Reserve	537	<i>Corymbia</i>	4.20	Zone Map 2
Road Reserve	538	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	539	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	542	<i>Banksia marginata</i>	2.64	Zone Map 2
Road Reserve	543	<i>Corymbia ficifolia</i>	0.96	Zone Map 2
Reserve No. 6/Lot 72	544	<i>Eucalyptus leucoxylon Rosea</i>	3.60	Zone Map 2
Reserve No. 6/ Lot 72	545	<i>Angophora costata</i>	4.80	Zone Map 2
Reserve No. 6/Lot 72	546	<i>Banksia marginata</i>	4.20	Zone Map 2
Lot 73/Road Reserve	548	<i>Cupressus torulosa</i>	3.60	Zone Map 2
Road Reserve	549	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 73/Lot 74/Road Reserve	550	<i>Grevillea robusta</i>	3.00	Zone Map 2
Road Reserve	553	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	554	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Road Reserve	555	<i>Eucalyptus cladocalyx</i>	3.60	Zone Map 2
Lot 77/Lot 78/Road Reserve	564	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Road Reserve/Lot 77	565	<i>Eucalyptus cladocalyx</i>	3.00	Zone Map 2
Lot 79/Lot 89	568	<i>Photinia glabra 'Rubens'</i>	2.40	Zone Map 2
Lot 91/Lot 92	571	<i>Acmena smithii</i>	3.00	Zone Map 2
Lot 210/Road Reserve	573	<i>Acmena smithii</i>	3.24	Zone Map 2
Road Reserve	574	<i>Eucalyptus maculata</i>	8.00	Zone Map 2
Lot 205/Lot 206	579	<i>Arbutus unedo</i>	2.64	Zone Map 2
Road Reserve/Lot 205/Lot 206	580	<i>Acmena smithii</i>	5.00	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Lot 204/Lot205/Road Reserve	581	<i>Acmena smithii</i>	5.00	Zone Map 2
Reserve No. 6/Lot 96	586	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Reserve No. 6/Lot 73/Lot 96	587	<i>Populus deltoides</i>	9.60	Zone Map 2
Lot 82/Lot 83/ Lot 84	597	<i>Liquidambar Styraciflua</i>	7.20	
Lot 99/Lot 100/Lot 105	597a	<i>Liquidambar styraciflua</i>	7.20	Zone Map 2
Lot 82/Lot 83/Lot 84	600	<i>Quercus robur</i>	7.80	Zone Map 2
Lot 84/Lot 85/Lot 86	601	<i>Quercus robur</i>	3.84	Zone Map 2
Lot 85	602	<i>Quercus robur</i>	3.60	Zone Map 2
Lot 85	604	<i>Quercus robur</i>	3.00	Zone Map 2
Lot 217/ Lot 218	614	<i>Corymbia citriodora</i>	5.40	Zone Map 2
Lot 219	617	<i>Eucalyptus leucoxylon Rosea</i>	5.40	Zone Map 2
Lot 219	621	<i>Eucalyptus leucoxylon Rosea</i>	5.40	Zone Map 2
Lot 219/Road Reserve	622	<i>Eucalyptus viminalis subsp. pryoriana</i>	8.40	Zone Map 2
Lot 219	623	<i>Eucalyptus</i>	3.00	Zone Map 2
Lot 219	624	<i>Phoenix canariensis</i>	8.40	Zone Map 2
Lot 219	627	<i>Liquidambar styraciflua</i>	2.64	Zone Map 2
Lot 219	628	<i>Eucalyptus camuldulensis</i>	7.20	Zone Map 2
Lot 219/Road Reserve	630	<i>Eucalyptus camuldulensis</i>	6.00	Zone Map 2
Lot 219/ Lot 220/ Road Reserve	631	<i>Eucalyptus camuldulensis</i>	9.60	Zone Map 2
Lot 219/ Lot 220	632	<i>Eucalyptus camuldulensis</i>	4.80	Zone Map 2
Reserve No.7/ Road Reserve/Lot 231/CP No. 3	644	<i>Eucalyptus camuldulensis</i>	10.80	Zone Map 2
Reserve No. 8/Road Reserve/lot 226/CP No. 3	653	<i>Melaleuca armillaris</i>	4.20	Zone Map 2
Lot 226	656	<i>Melaleuca linarifolia</i>	2.40	Zone Map 2
Lot 226/Lot227/Road Reserve	659	<i>Melaleuca armillaris</i>	4.20	Zone Map 2
Lot 227/Road Reserve	660	<i>Melaleuca linarifolia</i>	3.00	Zone Map 2
Lot 227	661	<i>Melaleuca stypheoides</i>	2.64	Zone Map 2
CP No. 3	667	<i>Eucalyptus camaldulensis</i>	8.40	Zone Map 2
CP No. 3/lot 229/Lot 230	668	<i>Eucalyptus camaldulensis</i>	6.00	Zone Map 2
CP No. 3	669	<i>Eucalyptus camaldulensis</i>	2.40	Zone Map 2
Lot 163/Lot 187/Road Reserve	697	<i>Liquidambar styraciflua</i>	7.20	Zone Map 2

FRANKSTON PLANNING SCHEME

Affected Properties	Tree Number	Tree Species	Tree Protection Zone (metres)	PS Map
Lot 163/Road Reserve	698	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 159/Lot 160/Road Reserve	701	<i>Grevillea robusta</i>	6.00	Zone Map 2
Lot 159/lot 160	702	<i>Grevillea robusta</i>	6.60	Zone Map 2
Lot 156/Cp No. 2	710	<i>Liquidambar styraciflua</i>	6.00	Zone Map 2
Lot 155/Lot 156	711	<i>Liquidambar styraciflua</i>	4.80	Zone Map 2
Lot 151/Lot 152	715	<i>Agonis flexuosa</i>	6.00	Zone Map 2
Lot 149/Lot 150	719	<i>Eriobotrya japonica</i>	1.80	Zone Map 2
Lot 151/Lot 152/Road Reserve	722	<i>Cupressus torulosa</i>	4.80	Zone Map 2
Lot 166/Lot 167	734	<i>Corymbia ficifolia</i>	4.80	Zone Map 2
Lot 158/Lot 159	749	<i>Corymbia ficifolia</i>	3.0	Zone Map 2
Lot 158/Lot 159/CP No. 2 Road Reserve	750	<i>Corymbia ficifolia</i>	1.2	Zone Map 2
Lot 163	751	<i>Phoenix canariensis</i>	9.6	Zone Map 2
Lot 178/Road Reserve	763	<i>Angophora costata</i>	4.2	Zone Map 2
Lot 171/Road Reserve	765	<i>Prunus</i>	1.8	Zone Map 2

FRANKSTON PLANNING SCHEME

23/05/2019
C133fran

SCHEDULE 6 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

Shown on the planning scheme map as SLO6.

FRANKSTON SOUTH – SWEETWATER CREEK FRINGE AREA

1.0

23/05/2019
C133fran

Statement of nature and key elements of landscape

The Municipal Planning Strategy and the Neighbourhood Character Study recognise the importance of the Sweetwater Creek as a landscape and environmental feature of the Frankston South area. The Frankston City Neighbourhood Character Study identifies the importance of vegetation and the relationship between the buildings and the landscape to the character of the broader areas beyond the creek. The area covered by this overlay has a character that is partly derived from the density of trees and other vegetation and the setting of residential development within these trees. It is intended that this area will have a character in which trees dominate the streetscapes and skyline. The use of native and indigenous vegetation is encouraged in order to complement and enhance the visual and environmental qualities of the area whilst also recognising the contribution of large deciduous trees to the area.

2.0

23/05/2019
C133fran

Landscape character objectives to be achieved

- To retain and encourage the planting and retention of trees in keeping with the preferred neighbourhood character of the Frankston South area.
- To ensure that development is sensitive to the presence and contribution of existing vegetation.
- To ensure that the health of existing trees is not jeopardised by new development.

3.0

04/05/2017
G449 Proposed C167fran

Permit requirement

Buildings and Works

A permit is required to construct a front fence.

A permit is not required:

- To construct a building or construct or carry out works outside the Tree Protection Zone of any substantial tree. The Tree Protection Zone is defined as the area with a radius from the centre of the trunk 12 times the diameter of the trunk except where:
 - The measured radius is less than 5 metres, in which case the radius must be 5 metres; or
 - The measured radius is greater than 15 metres, in which case the radius must be 15 metres.

For the purposes of calculating the Tree Protection Zone, the diameter of the trunk is measured at 1.4 metres above the point where it meets natural ground level.

A substantial tree is defined as vegetation including indigenous and where appropriate, Australian native large old trees and trees with hollows that has a trunk circumference greater than 0.50 metres at 1.4 metres above the point where it meets natural ground level.

- To construct buildings where the total area of all buildings at ground level is less than 40 per cent of the site.

Vegetation removal

A permit is required to remove, destroy or lop any substantial tree except where:

- The vegetation is an environmental weed specified in Table 1 to this schedule.
- The pruning or lopping of limbs is less than one-third (1/3rd) of the crown of the tree.

*Note: Pruning of a tree is defined as removing branches (or occasionally roots) from a tree or plant using approved practices, to achieve a specified objective such as for regeneration or ornamental shaping.
Lopping is defined as the practice of cutting branches or stems between branch unions or internodes.*

FRANKSTON PLANNING SCHEME

4.0

23/05/2019
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Application requirements

None specified.

5.0

23/05/2019
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Decision guidelines

Before deciding on an application, the responsible authority must consider, as appropriate:

- Demonstration of the avoidance hierarchy (avoid, minimise, mitigate principles) in relation to substantial trees on a site.
- The need to ensure new buildings and works, including driveways fit within the landscape.
- Whether the style and height of any front fence is consistent with existing fences, where fences are commonly provided in the street.
- The need for additional landscaping and screen planting to maintain the existing and preferred landscape qualities identified in the Neighbourhood Character Study.
- The extent to which the proposal maintains the vegetation dominated streetscapes and vistas.
- The guidelines and principles of Australian Standard 4970-2009 – Protection of Trees on Development Sites.

Table 1: Major environmental weed species

Note: Generally, woody species (trees and shrubs) have been included on this list along with the most serious herbaceous species.

	Species	Common name
	<i>Acacia baileyana</i>	Cootamundra Wattle
	<i>Acacia elata</i>	Cedar Wattle
	<i>Acacia floribunda</i>	White Sallow Wattle
	<i>Acacia longifolia subsp. longifolia</i>	Sallow Wattle
+	<i>Acacia longifolia subsp. sophorae</i>	Coastal Wattle
	<i>Agapanthus praecox ssp. orientalis</i>	Agapanthus
	<i>Asparagus asparagoides</i>	Bridal Creeper
	<i>Asparagus scandens</i>	Asparagus fern
C	<i>Calycotoma spinosa</i>	Spiny Broom
	<i>Buddleia dysophyllus</i>	Buddleia
C	<i>Chrysanthemoides monilifera ssp. monilifera</i>	Boneseed
C	<i>Cirsium vulgare</i>	Spear Thistle
	<i>Coprosma repens</i>	Mirror-bush
	<i>Coprosma robusta</i>	Large Coprosma
	<i>Cortaderia jubata/selloana</i>	Pampas Grass
	<i>Cotoneaster sp.</i>	Cotoneaster
C	<i>Crataegus monogyna</i>	Hawthorn
	<i>Crococsmia x crocosmiflora</i>	Montbretia
	<i>Cytisus palmensis</i>	Tree Lucerne
C	<i>Cytisus scoparius</i>	English Broom

FRANKSTON PLANNING SCHEME

	Species	Common name
	<i>Delairea odorata</i>	Cape Ivy
	<i>Dipogon lignosus</i>	Dolichos Pea
C	<i>Echium plantagineum</i>	Paterson's Curse
	<i>Erica baccans</i>	Berry-flower Heath
	<i>Erica lusitanica</i>	Spanish Heath
C	<i>Foeniculum vulgare</i>	Fennel
	<i>Fraxinus angustifolia ssp. angustifolia</i>	Desert Ash
C	<i>Genista linifolia</i>	Flax-leaf Broom
C	<i>Genista monspessulana</i>	Montpellier Broom
	<i>Genista (garden hybrid)</i>	Garden Broom
	<i>Gladiolus tristis</i>	Evening-flower Gladiolus
	<i>Gladiolus undulatus</i>	Wild Gladiolus
	<i>Hakea salicifolia</i>	Willow-leaf Hakea
	<i>Hakea suaveolens</i>	Sweet Hakea
	<i>Hedera helix</i>	Ivy
	<i>Ipomoea indica</i>	Morning-glory
+	<i>Leptospermum laevigatum</i>	Coast Tea-tree
	<i>Leucanthemum vulgare</i>	Ox-eye Daisy
	<i>Ligustrum lucidum</i>	Large-leaf Privet
	<i>Lonicera japonica</i>	Japanese Honeysuckle
C	<i>Lycium ferocissimum</i>	African Box-thorn
	<i>Malus domestica</i>	Domestic Apple
P	<i>Marrubium vulgare</i>	Horehound
	<i>Melaleuca armillaris</i>	Bracelet Honey-myrtle
	<i>Myrsiphyllum scandens</i>	Asparagus
	<i>Olea europaea ssp. Africana</i>	African Olive
	<i>Paraserianthes lophantha subsp. lophantha</i>	Cape Wattle
	<i>Phytolacca octandra</i>	Ink Weed
	<i>Pinus pinaster</i>	Maritime Pine
	<i>Pinus radiata</i>	Monterey Pine
	<i>Pittosporum undulatum</i>	Sweet Pittosporum
	<i>Polygala myrtifolia</i>	Myrtle-leaf Milkwort
	<i>Prunus cerasifera</i>	Cherry Plum
	<i>Pyracantha angustifolia</i>	Narrow-leaf Firethorn
	<i>Pyracantha crenulata</i>	Firethorn
	<i>Rhamnus alaternus</i>	Italian Buckthorn
C	<i>Rosa rubiginosa</i>	Sweet Briar

FRANKSTON PLANNING SCHEME

	Species	Common name
C	<i>Rubus fruticosus</i>	Blackberry
	<i>Rumex sagitatus</i>	Climbing Dock
	<i>Salix spp.</i>	Willows
	<i>Senecio angulatus</i>	Climbing Groundsel
C	<i>Senecio jacobaea</i>	Ragwort
	<i>Solanum mauritianum</i>	Nightshade
	<i>Sollya heterophylla</i>	Bluebell Creeper
	<i>Tradescantia fluminensis</i>	Wandering Tradescantia
C	<i>Ulex europaeus</i>	Gorse
	<i>Vinca major</i>	Blue Periwinkle
	<i>Watsonia meriana cv. 'Bulbillifera'</i>	Bulbil Watsonia
	<i>Zantedeschia aethiopica</i>	White Arum Lily

+ Ecologically 'out-of-balance' indigenous species which are natural members of Coastal Complex, but which are weedy outside the coastal context.

C Denotes regionally controlled weeds under the Catchment and Land Protection Act 1994.

P Denotes regionally prohibited weeds under the Catchment and Land Protection Act 1994.

FRANKSTON PLANNING SCHEME

23/05/2019
C133fran

SCHEDULE 8 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO8**

SWEETWATER CREEK FRANKSTON SOUTH – IMMEDIATE ENVIRONS

1.0
16/01/2014
C78

Design objectives

To maintain adequate space on a site to provide the opportunity for tree planting and landscaping to retain and enhance the character and environmental qualities of Sweetwater Creek and its environs.

To ensure that development is sensitive to the natural characteristics of Sweetwater Creek and its environs including slope, terrain and any existing vegetation.

To ensure that development and landscaping on lots with a direct abuttal to Sweetwater Creek is particularly sensitive to the creek and its environs, and is designed to minimise visual impact and bulk of buildings to enhance the natural characteristics of the creek and its environs.

To maintain adequate space on a site to allow for planting of vegetation and to aid in reducing stormwater runoff and minimise stormwater flows into Sweetwater Creek.

2.0

Buildings and works

04/05/2017
E449 Proposed C167fran

A permit is not required to construct a building or construct or carry out works provided the following requirements are met:

- Buildings must be set back at least 7.5 metres from the road frontage or the average of the setback of dwellings on adjoining lots, whichever is lesser.
- Buildings, with the exception of a single storey carport, must be set back at least 2 metres from side and rear boundaries plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Construction of a carport may only occur to one side boundary of a site.
- Where a lot has a rear boundary abutting the Sweetwater Creek Reserve or Sweetwater Creek where no reserve exists, buildings and works must be set back at least 10 metres from the Sweetwater Creek Reserve or the rear property boundary where no reserve exists.
- Where a side boundary of a site adjoins Sweetwater Creek or Sweetwater Creek Reserve, all buildings and works must be set back a minimum of 3.0 metres from the Sweetwater Creek Reserve or Sweetwater Creek unless the minimum width of the block is greater than 25 metres in which case the side boundary setback must be a minimum of 5 metres.
- Sunblinds, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into these setbacks.
- Side and rear setbacks to Sweetwater Creek or Sweetwater Creek Reserve should predominantly be used for tree and understorey planting.
- Any building does not exceed 8.0 metres in height or up to 9 metres where the slope of the land exceeds 2.5 degrees.
- The area covered by buildings must not exceed 40% of the site.
- Fences adjoining Sweetwater Creek or Sweetwater Creek Reserve must be constructed of non-combustible material and have a light weight and visually open appearance ~~to the satisfaction of the Responsible Authority.~~

A permit is required for a domestic swimming pool that does not meet the above requirements.

FRANKSTON PLANNING SCHEME

3.0

23/05/2019
C133fran

Subdivision

None specified.

4.0

23/05/2019
C133fran

Signs

None specified.

5.0

23/05/2019
C133fran

Application requirements

None specified.

6.0

23/05/2019
C133fran

Decision guidelines

Before deciding on an application the responsible authority must consider:

- The visual impact of buildings and works when viewed from the creek or creek reserve.
- The impact of buildings and works on the landscape character of the area.
- The impact of buildings and works on stormwater flows.
- Whether compliance with the requirements of this schedule is achievable having regards to the size, shape, orientation and topography of the site.
- Whether a building design reflects the slope of the land in terms of stepping down the site.
- The external materials, colours and finishes of the proposed buildings and works.
- The effect of buildings and works on the neighbourhood character of the area.
- The adequacy of proposed landscaping in meeting the design objectives of this schedule.

FRANKSTON PLANNING SCHEME

29/11/2019
 GC127

SCHEDULE TO CLAUSE 45.12 SPECIFIC CONTROLS OVERLAY

1.0

Specific controls

21/03/2025
 66242 Proposed C167 Frankston

PS Map Ref	Name of incorporated document
SCO1	Woolworths Oxygen, Carrum Downs (February 2011).
SCO2	Kristen Close, Frankston South (February 2011).
SCO3	Hospital Emergency Medical Services - Helicopter Flight Path Protection Areas Incorporated Document (Victorian Health Building Authority, October 2024)
SCO4	Golf Links Road and Grant Road (Peninsula Link to Frankston-Flinders Road) Upgrade Project Incorporated Document, November 2019
SCO5	Lathams Road (Oliphant Way to Frankston-Dandenong Road) Upgrade Project Incorporated Document, April 2019
SCO6	Balmoral Offices, 12 Balmoral Walk, Frankston – September 2021
SCO7	Hall Road (McCormicks Road to Cranbourne-Frankston Road) Upgrade Project Incorporated Document, August 2021
SCO8	Western Port Highway Upgrade Incorporated Document, August 2021
SCO9	Frankston Hospital Emergency Helicopter Flight Path Protection Incorporated Document (Department of Transport and Planning, October 2024)

FRANKSTON PLANNING SCHEME

23/05/2019
C133fran

SCHEDULE TO CLAUSE 51.01 SPECIFIC SITES AND EXCLUSIONS

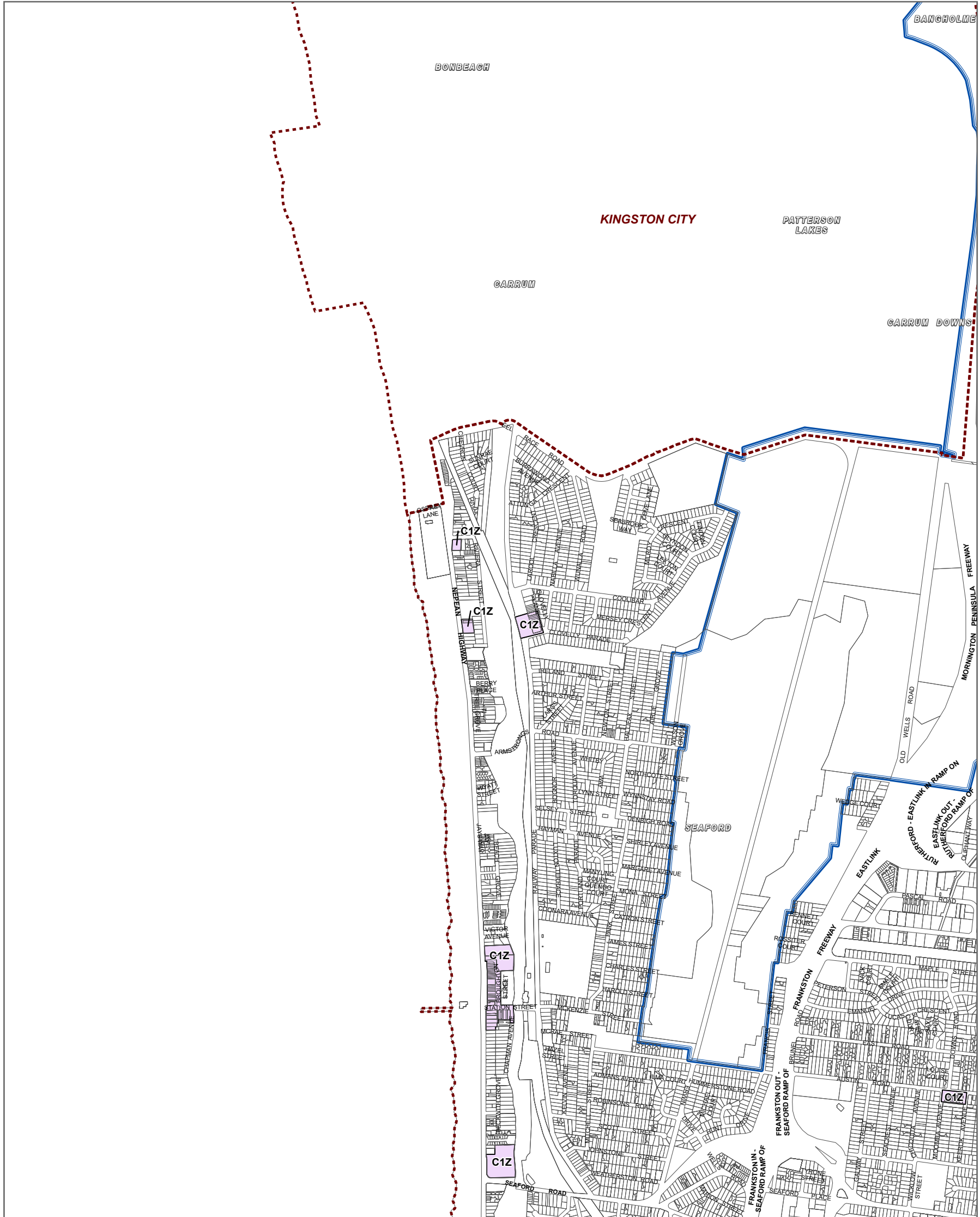
1.0

Specific sites and exclusions

25/02/2020
C435fran Proposed C167fran

Address of land	Title of incorporated document
Land Generally bound by Cranbourne Road (Nos. 85-115), Bryan Street (Nos. 2-22), Dean Street (Nos. 2-40), Gertrude Street (Nos. 2-8 & 27-37) and all properties fronting Hazel Grove, Glennis Street, Clifford Street and Stewart Street Frankston, known as Frankston Bulky Goods Precinct – Stage 2.	<i>Frankston Bulky Goods Precinct – Stage 2 (August 2006).</i>
Peninsula Link between Thompson Road, Carrum Downs and Golf Links Road, Frankston South, and part of the land at 240 -300 McClelland Drive, Langwarrin (Vol 09023 Fol 101, Vol 09023 Fol 102, Vol 09023 Fol 100)	<i>Peninsula Link Project, Incorporated Document, July 2009 (amended June 2011).</i>
Land at Whitecliffe Avenue, Frankston South being: Part Lot 8 LP4780, lots 11, 12, 18, 20, - 23 LP5686, Lot 3 LP25521, lot 2 LP58175, lots 1 - 5 LP63380, lots 1 - 3 TP184872 & PC357028. Land at Clyde Court, Frankston South being: Lot 1 TP254181M (two parts separately transferable), lot 1 TP665251A & lot 1 TP023790A.	<i>Olivers Hill Lot Restructuring Plan (December 2010).</i>
Land at 7R Playne Street, Frankston (known as Lot 3, Plan of Subdivision no. PS705612N).	<i>South East Water Corporation Head Office, Frankston (February 2013).</i>
Land required for the Skye/Overton Road, Frankston Level Crossing Removal Project as shown on the project area maps in the incorporated document.	<i>Skye/Overton Road, Frankston Level Crossing Removal Project Incorporated Document (May 2017).</i>
Land required for the Kananook Train Storage Facility Project as shown on the project area maps in the Incorporated Document	<i>Kananook Train Storage Facility Project Incorporated Document (July 2017)</i>
Land required for the Seaford Road, Seaford Level Crossing Removal Project as show on the project area maps in the Incorporated Document.	<i>Seaford Road, Seaford Level Crossing Removal Project Incorporated Document, December 2017 (Amended February 2018)</i>
Land required for the Carrum Level Crossing Removal Project as show on the project area maps in the Incorporated Document.	<i>Carrum Level Crossing Removal Project Incorporated Document, December 2017 (Amended February 2018)</i>
Land required for the improve Frankston Station project as shown on the project land map in the Incorporated Document	<i>Improve Frankston Station Project, Incorporated Document (February 2018)</i>

FRANKSTON PLANNING SCHEME - LOCAL PROVISION AMENDMENT C167fran

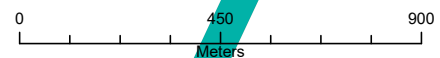


LEGEND
 C12 - Commercial 1 Zone

Municipal Boundary
 Urban Growth Boundary

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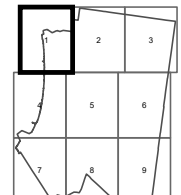
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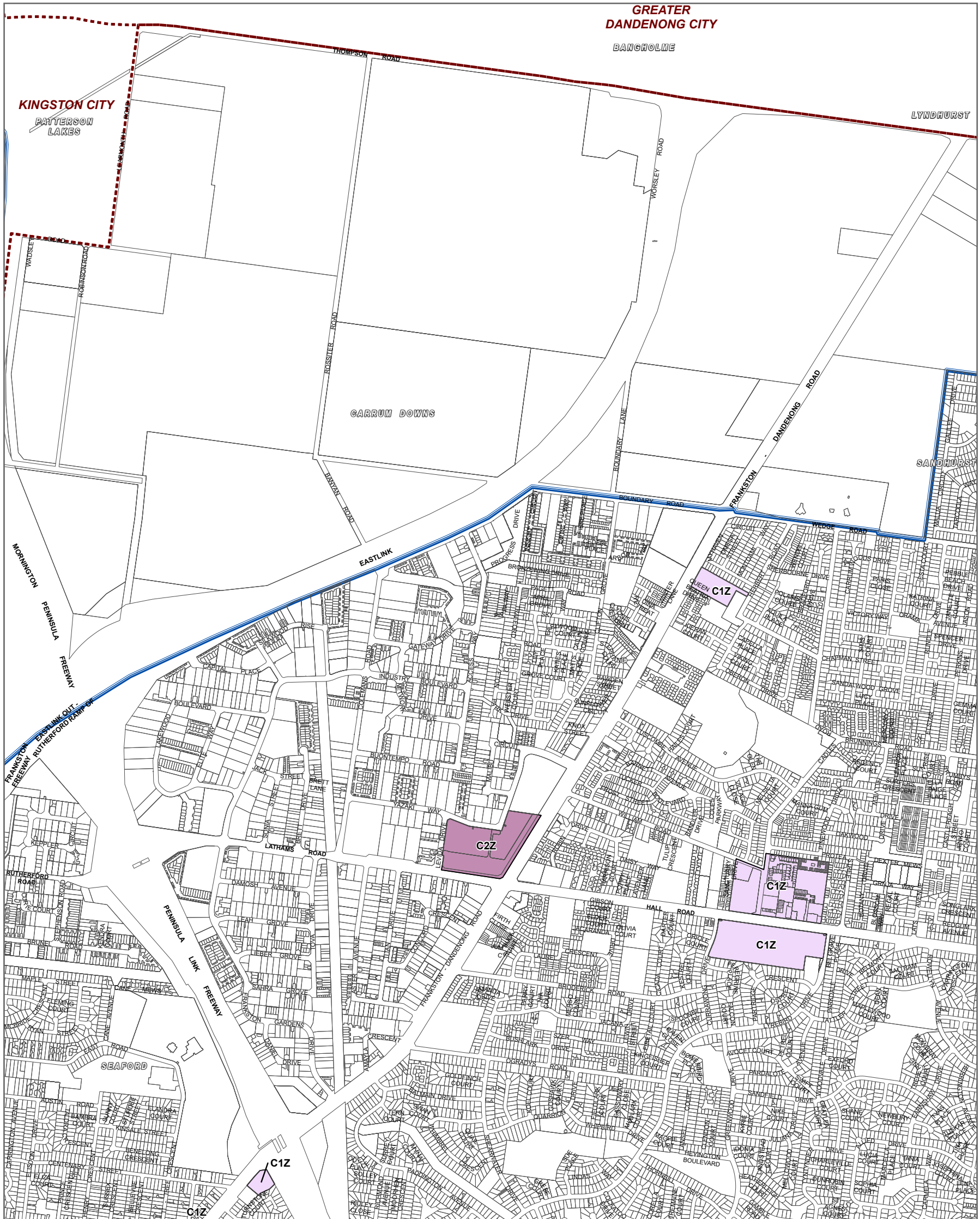


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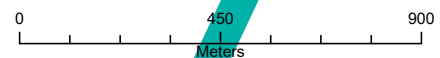


LEGEND
 C1Z - Commercial 1 Zone
 C2Z - Commercial 2 Zone

Municipal Boundary
 Urban Growth Boundary

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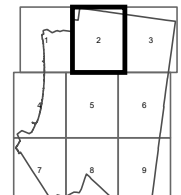
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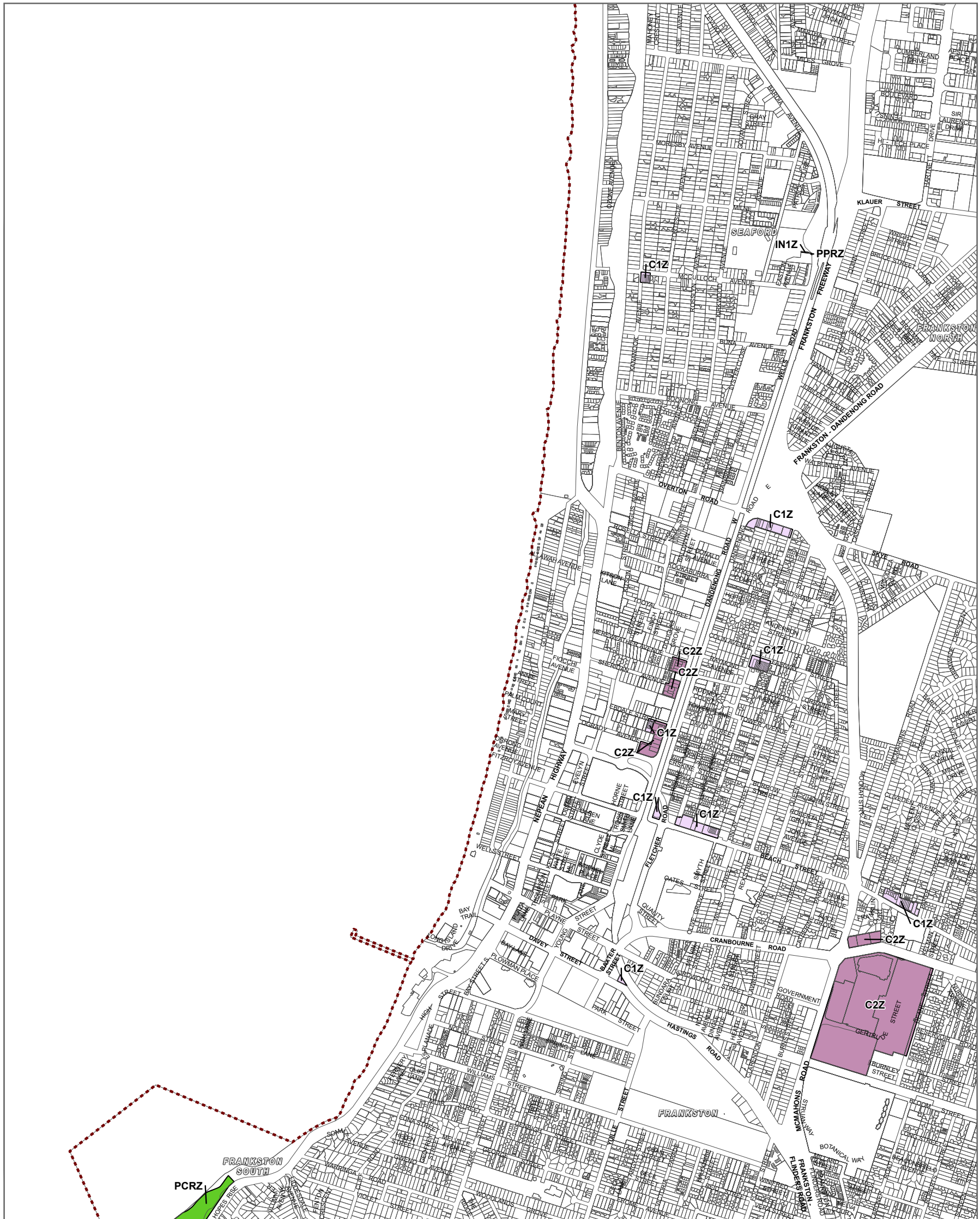


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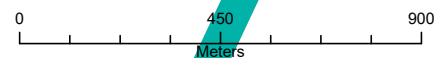
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- LEGEND**
- C1Z - Commercial 1 Zone
 - C2Z - Commercial 2 Zone
 - IN1Z - Industrial 1 Zone
 - PCRZ - Public Conservation and Resource Zone
 - PPRZ - Public Park and Recreation Zone

Municipal Boundary

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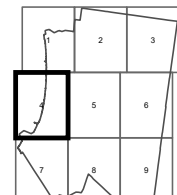
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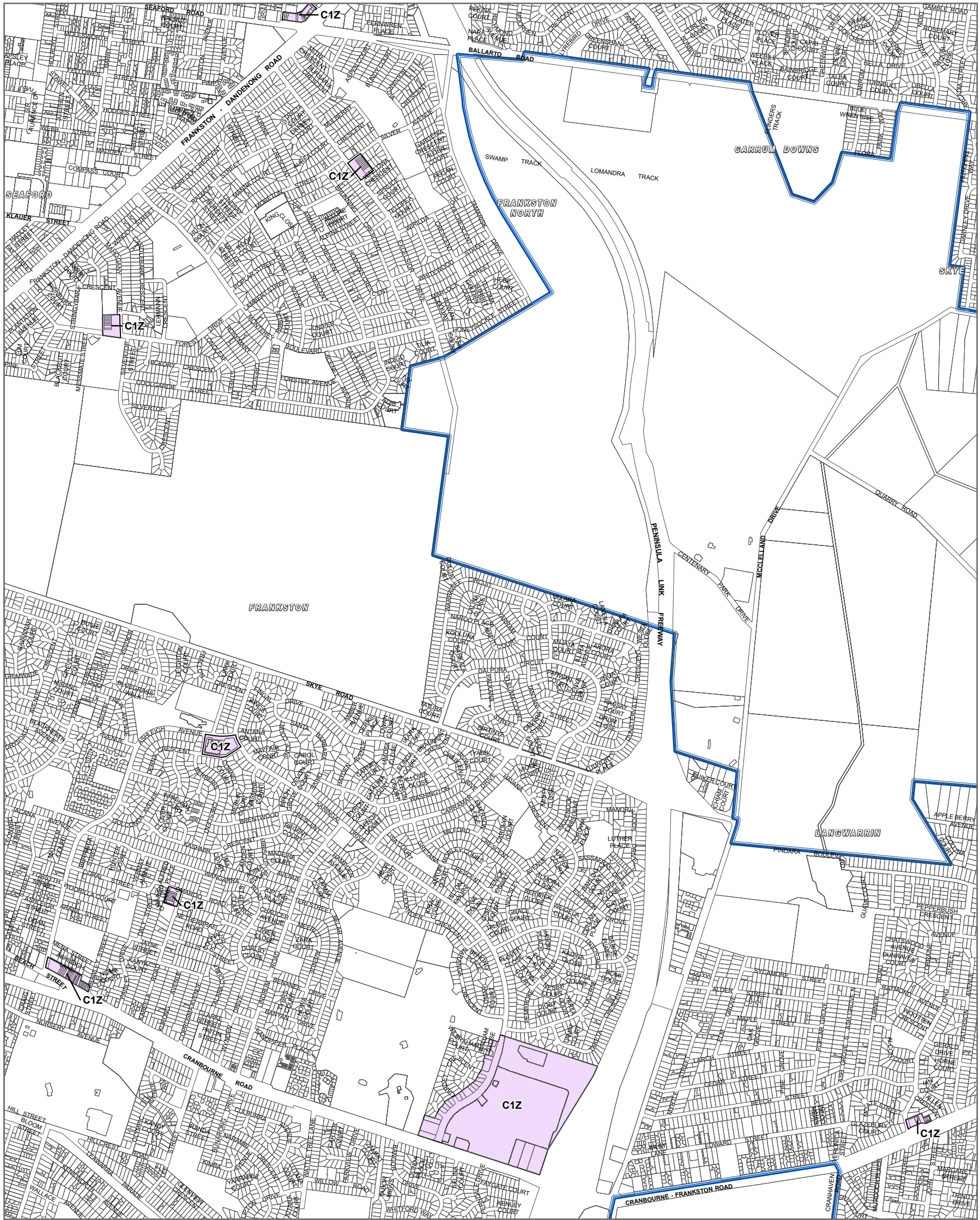


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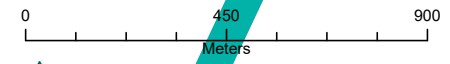
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LEGEND
C12 - Commercial 1 Zone

Municipal Boundary
Urban Growth Boundary

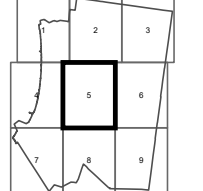
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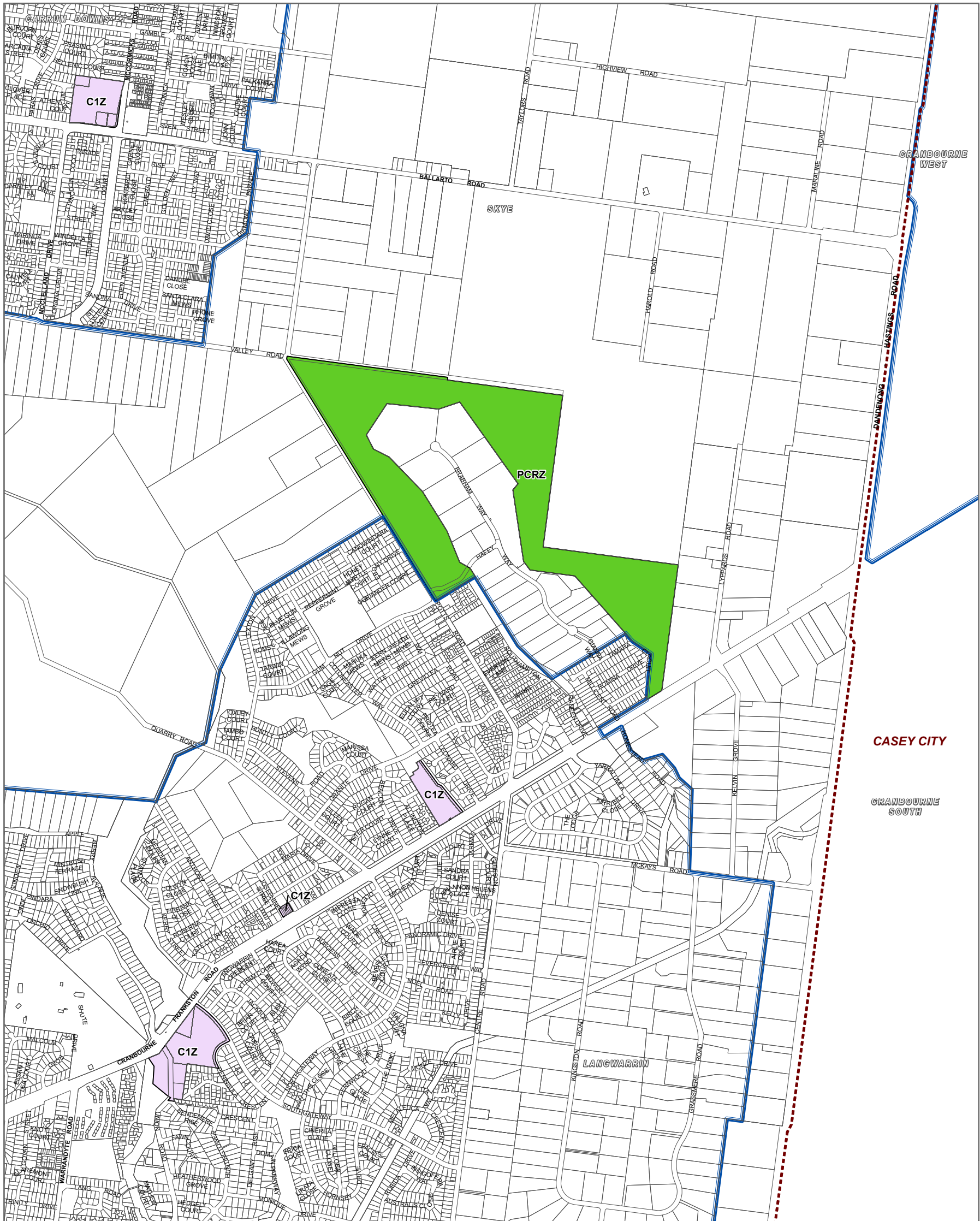
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ZONES

MAP No 5

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LEGEND
C1Z - Commercial 1 Zone
PCRZ - Public Conservation and Resource Zone

Municipal Boundary
Urban Growth Boundary

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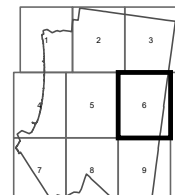
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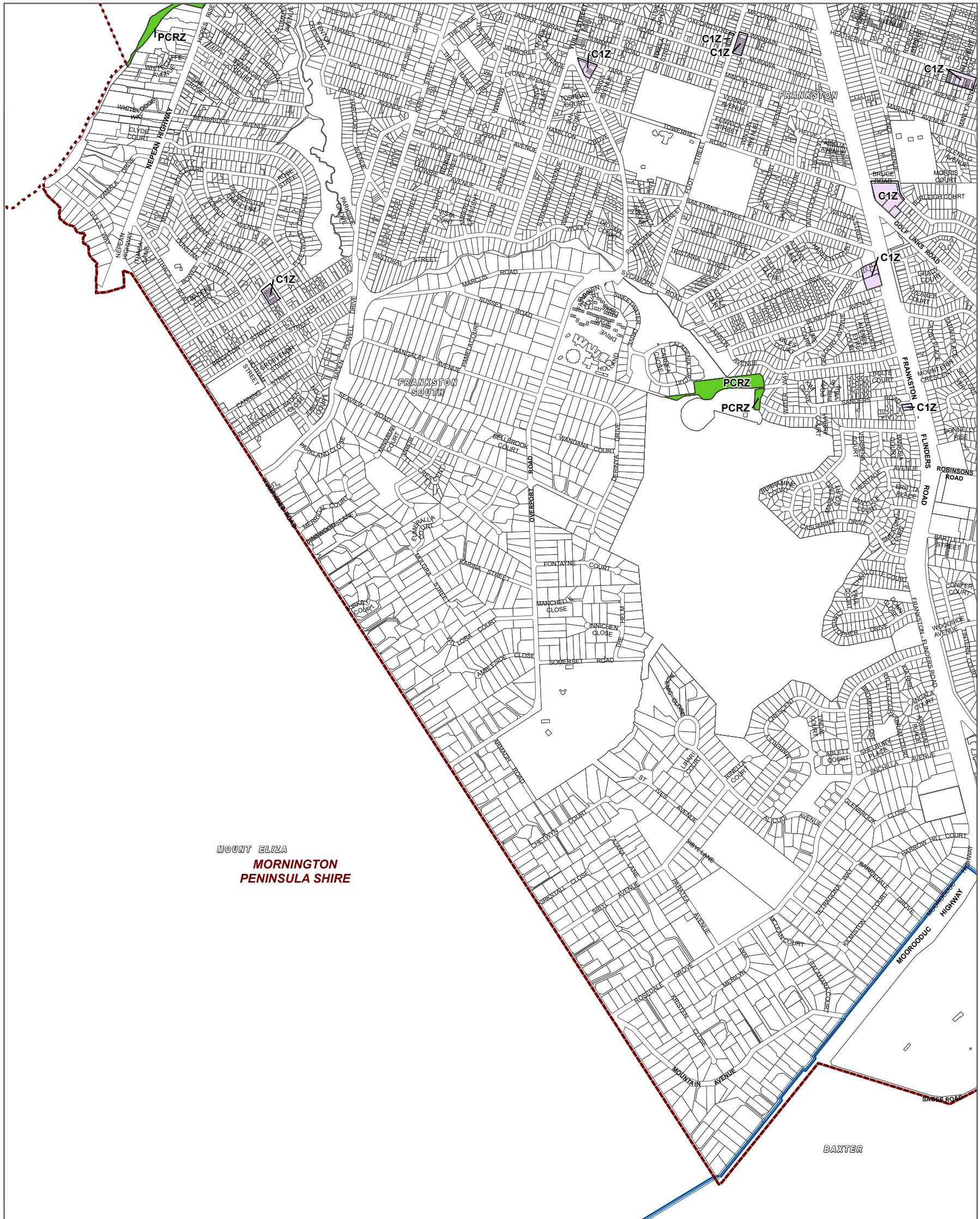


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LEGEND
 C1Z - Commercial 1 Zone
 PCRZ - Public Conservation and Resource Zone

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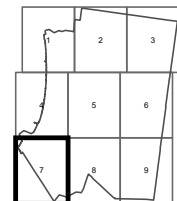
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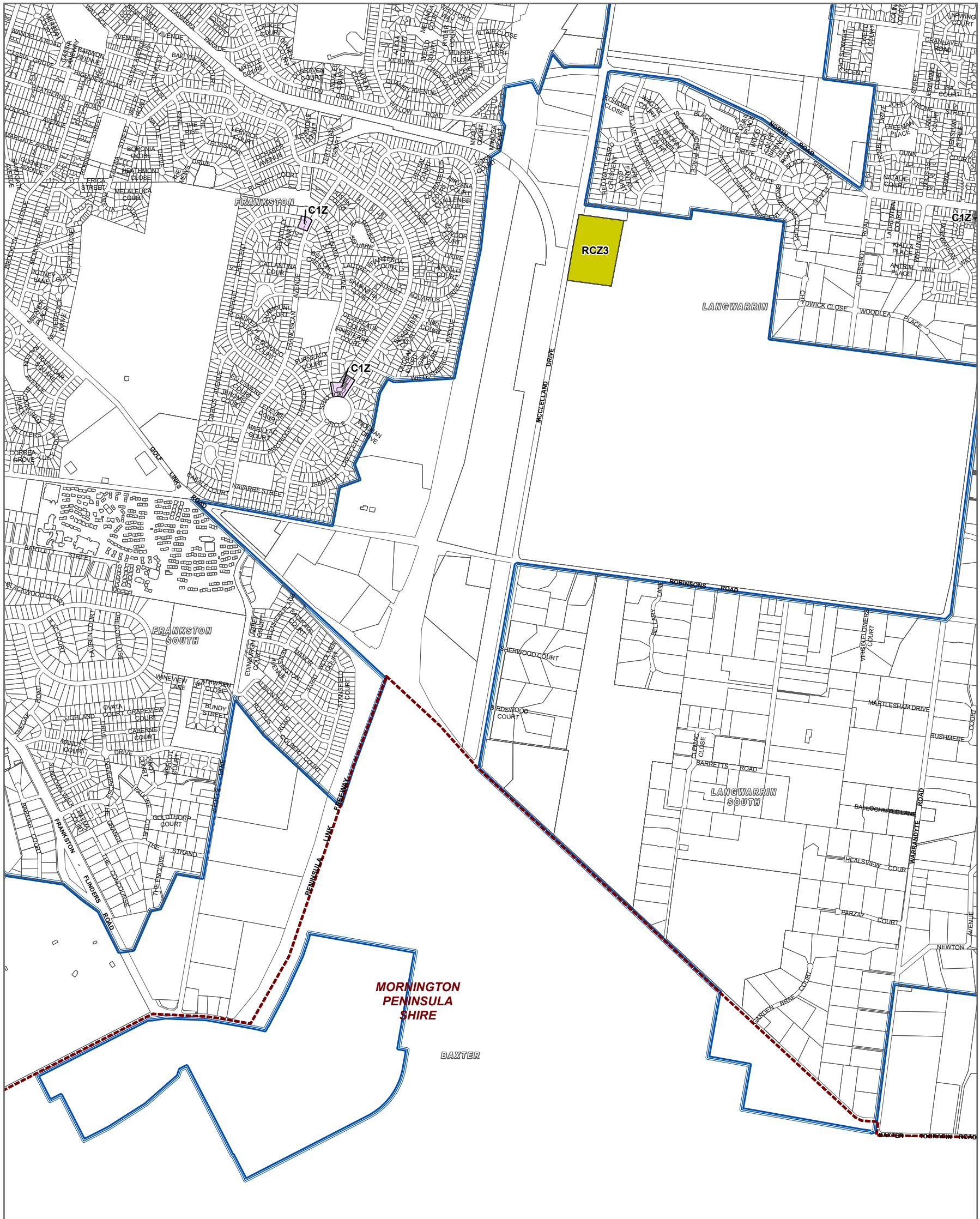


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LEGEND
C1Z - Commercial 1 Zone
RCZ - Rural Conservation Zone

Municipal Boundary
Urban Growth Boundary

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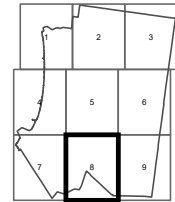
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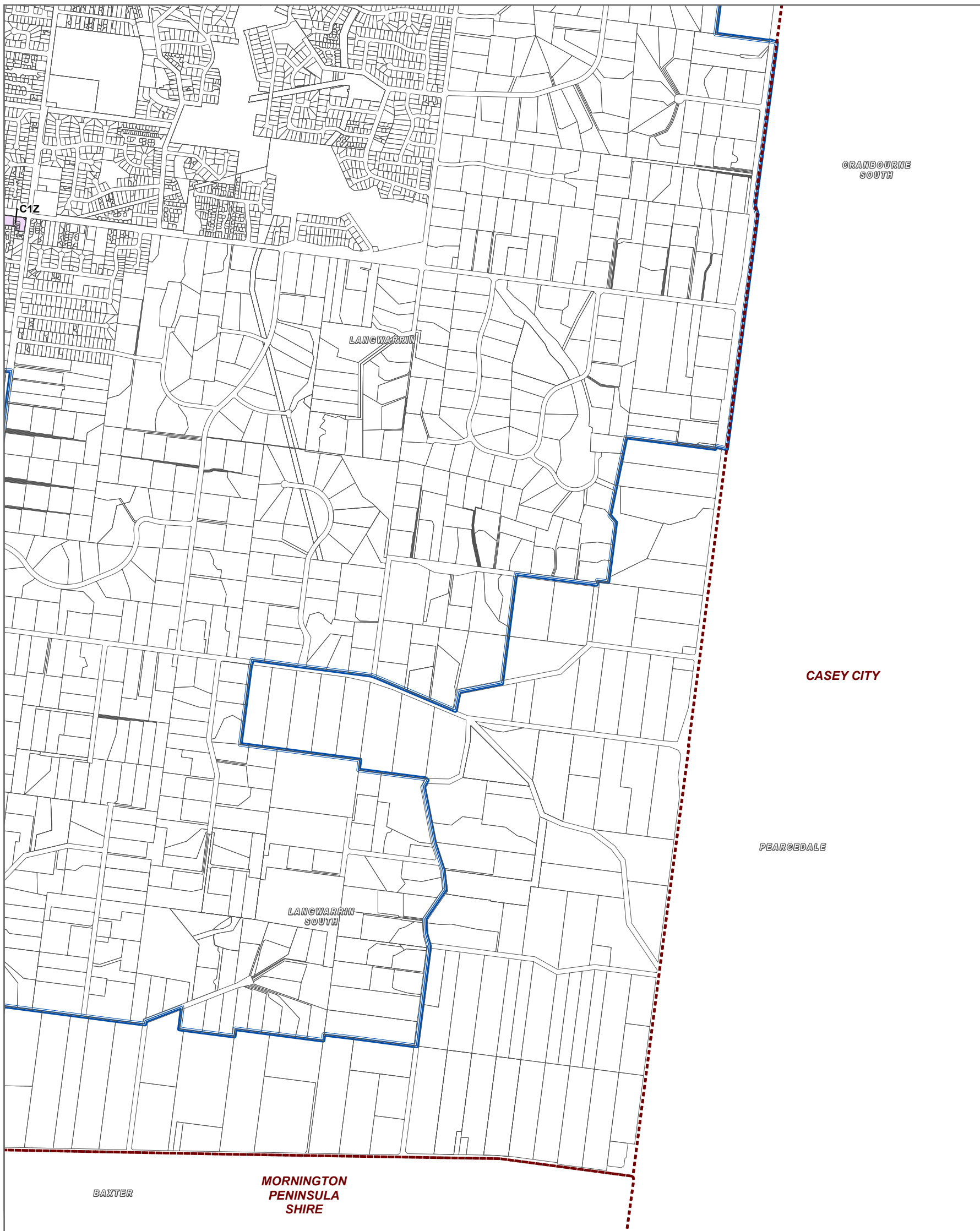


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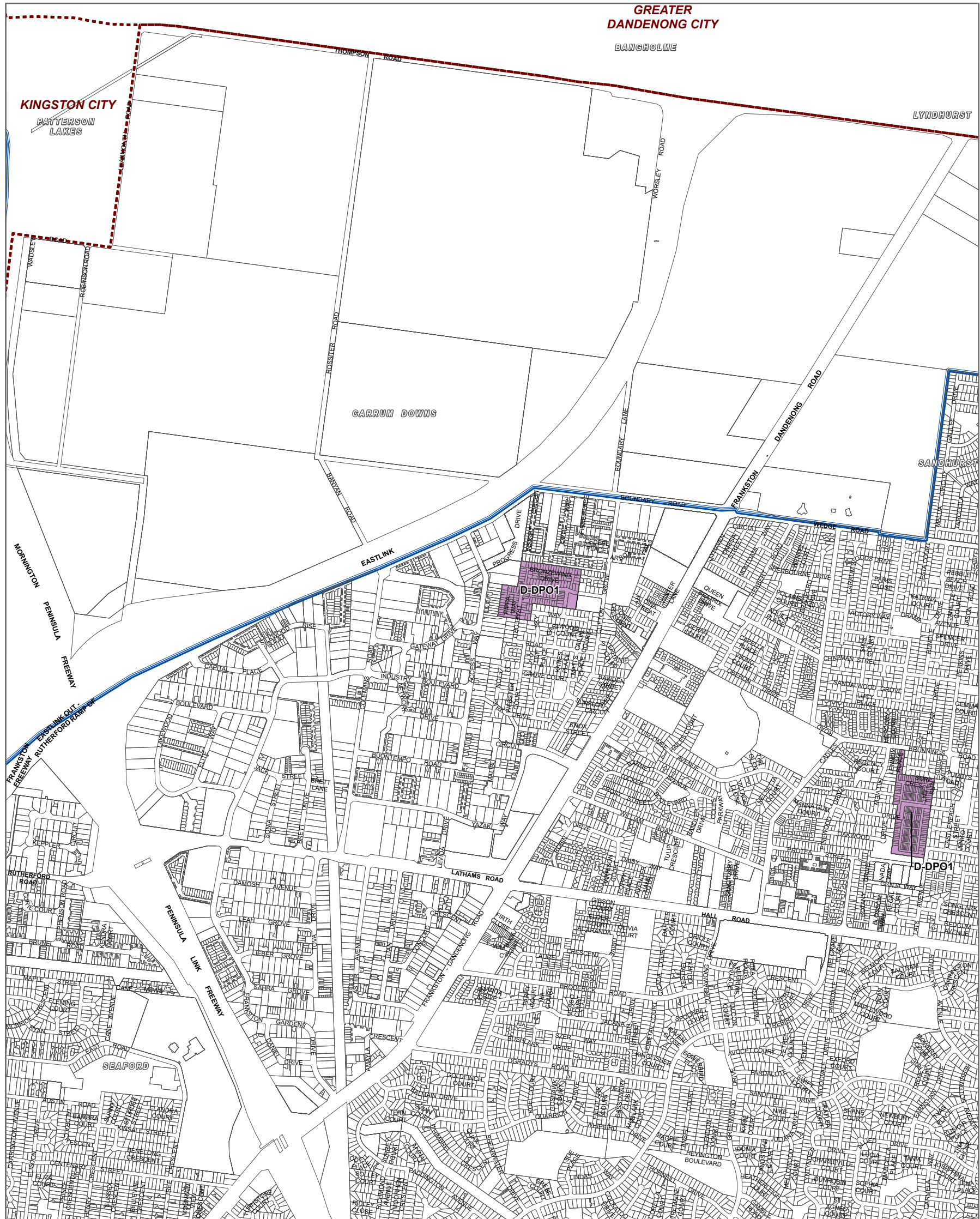
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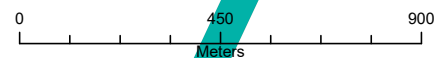


LEGEND
D-DPO - Area to be deleted from a Development Plan Overlay

Municipal Boundary
Urban Growth Boundary

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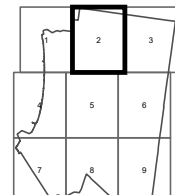
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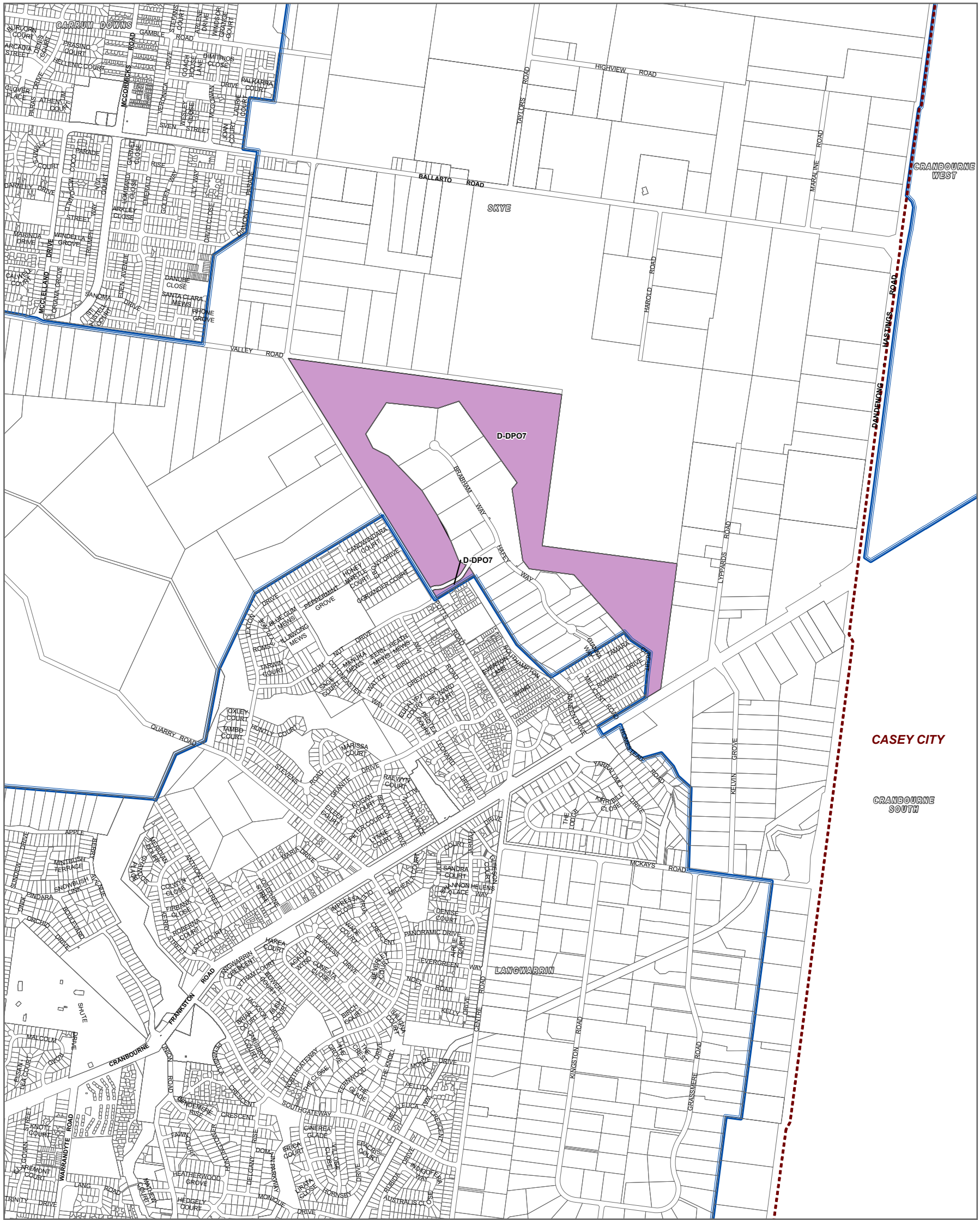
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AREA TO BE DELETED FROM A DEVELOPMENT PLAN OVERLAY

MAP No 2DPO

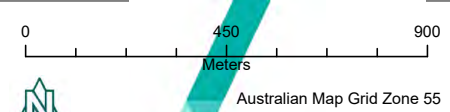
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LEGEND
D-DPO - Area to be deleted from a Development Plan Overlay

Municipal Boundary
Urban Growth Boundary

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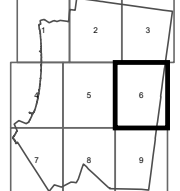


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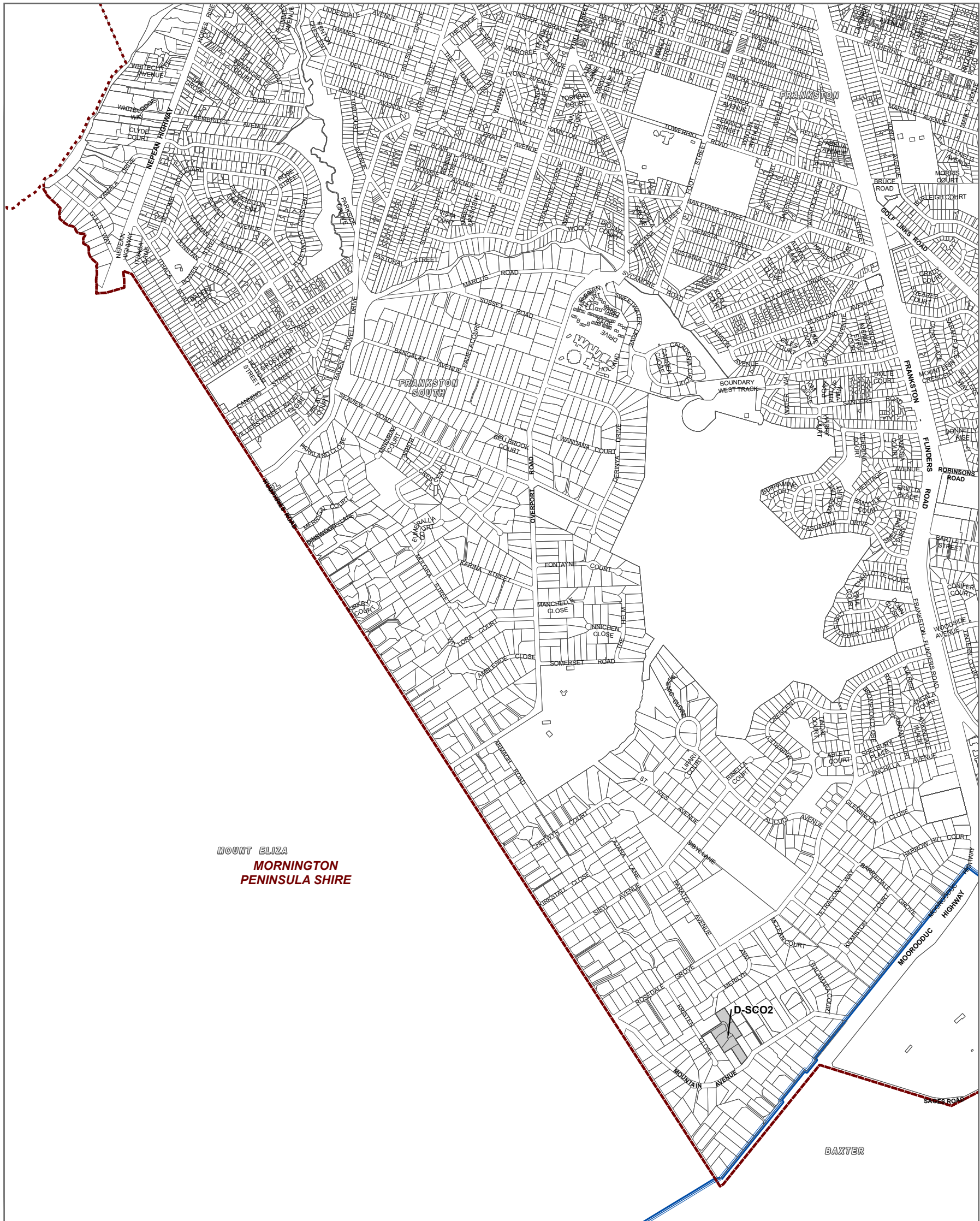
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AREA TO BE DELETED FROM A DEVELOPMENT PLAN OVERLAY

MAP No 6DPO

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LEGEND
D-SCO - Area to be deleted from a Specific Controls Overlay

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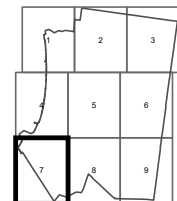
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AREA TO BE DELETED FROM A SPECIFIC CONTROLS OVERLAY

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